

PRELIMINARY & FINAL MAJOR SITE PLAN

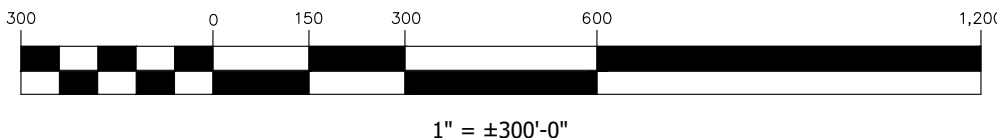
MIXED-USE BUILDING

52 WESTFIELD AVENUE
TOWNSHIP OF CLARK, UNION COUNTY, NEW JERSEY
BLOCK: 105; LOTS: 1.01, 2, 21, 22 & 26.01 TAX MAP: 30
ZONE: WESTFIELD AVENUE REDEVELOPMENT PLAN



KEY MAP

GRAPHIC SCALE

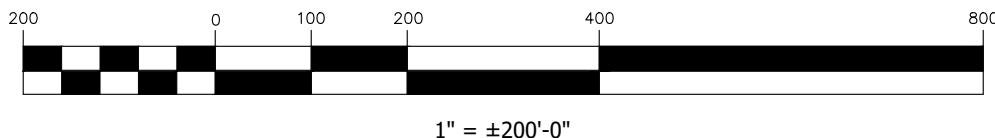


1" = 300'-0"



TAX & ZONING MAP

GRAPHIC SCALE



1" = 200'-0"

PROPERTY OWNERS WITHIN 200 FEET OF SUBJECT PROPERTY:

BLOCK 91, LOT 5.01 C0001 10 WASHINGTON AVE LLC 1014 FOUR SEASONS DR WAYNE, NJ 07470	BLOCK 91, LOT 5.01 C0012 ALFARO, PHILIP C 16 WASHINGTON UNIT 12 APT BA CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0022 SIVIL, MAUREEN 37 WESTFIELD AVE UNIT 2 CLARK, NJ 07066	BLOCK 91, LOT 12 AJA REALTY HOLDING LLC 44 WASHINGTON ST CLARK, NJ 07066	BLOCK 91, LOT 31 SLEPECKI, ANDRZEJ 44 WASHINGTON ST CLARK, NJ 07066	BLOCK 105, LOT 16 DOCUMENT DESTRUCTION LLC 25 BROADWAY UNIT 3B CLARK, NJ 07066	BLOCK 106, LOT 7.01 C0073 BEINSTEIN, ALEXANDRA D 73 BROADWAY UNIT 3B CLARK, NJ 07066	BLOCK 107, LOT 17 MECHETTI, STEVEN M & DEZAIQ, NICOLA 41 JOSEPH ST CLARK, NJ 07066	BLOCK 108, LOT 53 MC ARDLE, WILLIAM & LISA R 36 JOSEPH ST CLARK, NJ 07066
BLOCK 91, LOT 5.01 C0002 SAMSEL, KEVIN 10 WASHINGTON #2 APT 1B CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0013 HUSS, BEVERLY 1054 SUNNY VIEW RD MOUNTAINSIDE, NJ 07092	BLOCK 91, LOT 5.01 C0023 DEPETRIS, PETER JOHN 15 WESTFIELD AVE UNIT 3 CLARK, NJ 07066	BLOCK 91, LOT 13 GEOGHEGAN, DILLON M & LAUREN N 46 STEMMER DRIVE CLARK, NJ 07066	BLOCK 91, LOT 32 LAI, YENTING & HUANG, PEIYI 33 BROADWAY #3C CLARK, NJ 07066	BLOCK 106, LOT 19 GANNETT, SIMON M 75 BROADWAY #3C CLARK, NJ 07066	BLOCK 106, LOT 7.01 C0075 MELE, GREGG & LIU, HUJUAN 75 BROADWAY #3C CLARK, NJ 07066	BLOCK 107, LOT 18 FARID, STEPHEN 3 DORSET ROAD COLONIA, NJ 07067	BLOCK 108, LOT 54 FIORE, DENNIS J & DONNA E 40 JOSEPH ST CLARK, NJ 07066
BLOCK 91, LOT 5.01 C0003 DEMARZO, DANIEL E 10 WASHINGTON ST U-3 A2B CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0014 DAUNNO, SPENCER P WASHINGTON UNIT 14 CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0024 SAMSEL, KEVIN 15 WESTFIELD UNIT 04 APT BB CLARK, NJ 07066	BLOCK 91, LOT 14.01 R&S REAL ESTATE % RAKESH SAHNI 99 BUENA VISTA AVE RUMSON, NJ 07760	BLOCK 91, LOT 34 MARHOLD, LINDA 34 WASHINGTON ST CLARK, NJ 07066	BLOCK 105, LOT 20 GANNET, MAURA TRUST 604 NORTH BEACHWOOD DR BURBANK, CA 91506	BLOCK 106, LOT 7.01 C0077 SELTZER, ANNETTE M 77 BROADWAY UNIT 2A CLARK, NJ 07066	BLOCK 107, LOT 19 SALAZAR, NIDIA 60 BROADWAY CLARK, NJ 07066	BLOCK 108, LOT 51 MC ARDLE, WILLIAM & LISA R 36 JOSEPH ST CLARK, NJ 07066
BLOCK 91, LOT 5.01 C0004 NEYRA, PATRICIA & CABREAR, DANIEL 10 WASHINGTON UNIT 04 APT BA CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0015 OSBORNE, ROGER K 20 WASHINGTON ST UNIT 15 CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0025 SCARNEGI LISAMARIE 15 WESTFIELD UNIT 05 APT 1B CLARK, NJ 07066	BLOCK 91, LOT 36 27-29 WESTFIELD AVENUE LLC 148 MCFARLANE RD COLONIA, NJ 07067	BLOCK 91, LOT 36 27-29 WESTFIELD AVENUE LLC 148 MCFARLANE RD COLONIA, NJ 07067	BLOCK 106, LOT 1 NLS ENTERPRISES LLC 72 WESTFIELD AVE CLARK, NJ 07066	BLOCK 106, LOT 7.01 C0079 VEGA, HARRY N 79 BROADWAY UNIT 2B CLARK, NJ 07066	BLOCK 107, LOT 20 GALLAGER, E SR & B & GALLAGHER, J A 56 BROADWAY CLARK, NJ 07066	BLOCK 108, LOT 52 RAHWAY VALLEY SEWERAGE AUTHORITY 1050 EAST HAZELWOOD AVENUE RAHWAY, NJ 07065
BLOCK 91, LOT 5.01 C0005 OLEN REALTY LLC 196 MILLER AVE CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0016 LANDOLFI, ALAINA 20 WASHINGTON UNIT 16 APT 1B CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0026 RAMOS, DIOMAR 20 WASHINGTON AVE APT 3B CLARK, NJ 07066	BLOCK 91, LOT 18 CLARK EAST LLC 60 WASHINGTON ST CLARK, NJ 07066	BLOCK 91, LOT 37 22 WASHINGTON CLARK LLC 144 SUNLIT DR WATCHUNG, NJ 07069	BLOCK 106, LOT 2 T.E. FAMILY ASSOCIATES, LLC 102 AMELIA DR CLARK, NJ 07066	BLOCK 106, LOT 7.01 C0081 APISA REI LLC 1033 BEDGEWOOD RD MOUNTAINSIDE, NJ 07092	BLOCK 107, LOT 21 HALPERN, WILLIAM 52 BROADWAY CLARK, NJ 07066	BLOCK 108, LOT 53 MC ARDLE, WILLIAM & LISA R 36 JOSEPH ST CLARK, NJ 07066
BLOCK 91, LOT 5.01 C0008 COGAL, ROBERT 14 WASHINGTON UNIT 8 CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0018 PIZZARRO, ALEJANDRA 20 WASHINGTON U-18 CLARK, NJ 07066	BLOCK 91, LOT 7 D&O HOLDING CO., LLC P.O. BOX 5691 CLARK, NJ 07066	BLOCK 91, LOT 17 LGV PROPERTIES 63 WESTFIELD AVE CLARK, NJ 07066	BLOCK 91, LOT 38 CLARK EAST LLC 60 WASHINGTON ST CLARK, NJ 07066	BLOCK 106, LOT 3.01 SPRING ENTERPRISES LLC 34 UPPER DR SUMMIT, NJ 07901	BLOCK 106, LOT 7.01 C0083 SEGARRA, MATTHEW & VILLALTA, STEPH 12 HARDING AVE CLARK, NJ 07066	BLOCK 107, LOT 22 SAVOCA, CARMINE J 46 BROADWAY CLARK, NJ 07066	BLOCK 108, LOT 54 FIORE, DENNIS J & DONNA E 40 JOSEPH ST CLARK, NJ 07066
BLOCK 91, LOT 5.01 C0009 DE OLIVEIRA, HELTON JANUARIO 28 CLAUS ROAD CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0019 MALONEY, AMY 20 WASHINGTON UNIT 19 APT 1A CLARK, NJ 07066	BLOCK 91, LOT 8.01 27-29 WESTFIELD AVENUE URBAN RENEWA 148 MCFARLANE RD COLONIA, NJ 07067	BLOCK 91, LOT 19 O T R LLC 1911 SHIP CT TOMS RIVER, NJ 08753	BLOCK 91, LOT 39 TOMIA REAL ESTATE COMPANY 26 WASHINGTON AVE CLARK, NJ 07066	BLOCK 106, LOT 7.01 C0085 SEGARRA, MATTHEW & VILLALTA, STEPH 12 HARDING AVE CLARK, NJ 07066	BLOCK 107, LOT 23 NENORTAS, ADAM & PECINA, LACEY 16 HARDING AVE CLARK, NJ 07066	BLOCK 108, LOT 55 MC ARDLE, WILLIAM & LISA R 36 JOSEPH ST CLARK, NJ 07066	BLOCK 109, LOT 1 RAHWAY VALLEY SEWERAGE AUTHORITY 1050 EAST HAZELWOOD AVENUE RAHWAY, NJ 07065
BLOCK 91, LOT 5.01 C0010 BENINATO, ANGELA 47 COLDEVIN ROAD CLARK, NJ 07066	BLOCK 91, LOT 5.01 C0020 SAMSEL, CHESTER P III 20 WASHINGTON UNIT 20 APT 2A CLARK, NJ 07066	BLOCK 91, LOT 10.01 27-29 WESTFIELD AVENUE LLC 148 MCFARLANE RD COLONIA, NJ 07067	BLOCK 91, LOT 20 FAMA SYKO, LLC 77 WESTFIELD AVE CLARK, NJ 07066	BLOCK 91, LOT 40 CLARK EAST LLC 60 WASHINGTON ST CLARK, NJ 07066	BLOCK 106, LOT 7.01 C0087 SEGARRA, MATTHEW & VILLALTA, STEPH 12 HARDING AVE CLARK, NJ 07066	BLOCK 107, LOT 24 NENORTAS, ADAM & PECINA, LACEY 16 HARDING AVE CLARK, NJ 07066	BLOCK 108, LOT 56 MC ARDLE, WILLIAM & LISA R 36 JOSEPH ST CLARK, NJ 07066	BLOCK 110, LOT 1 RAHWAY VALLEY SEWERAGE AUTHORITY 1050 EAST HAZELWOOD AVENUE RAHWAY, NJ 07065
BLOCK 91, LOT 5.01 C0011 CHIRONWA, ROBERT J & ANNA MARIE 20 BELL DRIVE WESTFIELD, NJ 07090	BLOCK 81, LOT 5.01 C0021 HEINE, THOMAS WILLIAM 15 WESTFIELD AVE, UNIT 1A CLARK, NJ 07066	BLOCK 91, LOT 11 REN GUO LIN LLC 35 WESTFIELD AVE CLARK, NJ 07066	BLOCK 91, LOT 21 WRAY, EDWARD & JEAN 58 WASHINGTON ST CLARK, NJ 07066	BLOCK 91, LOT 41 CLARK EAST LLC 60 WASHINGTON ST CLARK, NJ 07066	BLOCK 106, LOT 7.01 C0089 SEGARRA, MATTHEW & VILLALTA, STEPH 12 HARDING AVE CLARK, NJ 07066	BLOCK 107, LOT 25 NENORTAS, ADAM & PECINA, LACEY 16 HARDING AVE CLARK, NJ 07066	BLOCK 108, LOT 57 MC ARDLE, WILLIAM & LISA R 36 JOSEPH ST CLARK, NJ 07066	BLOCK 111, LOT 1 RAHWAY VALLEY SEWERAGE AUTHORITY 1050 EAST HAZELWOOD AVENUE RAHWAY, NJ 07065

JURISDICTIONAL APPROVALS:

1. SITE PLAN	TOWNSHIP OF CLARK PLANNING BOARD -	PENDING
2. COUNTY	UNION COUNTY -	PENDING
3. EROSION	SOMERSET UNION SCD -	PENDING
4. SEWER	RAHWAY VALLEY SA -	PENDING
5. WATER	NJDEP TREATMENT WORKS APPROVAL -	PENDING
	NJ AMERICAN WATER -	PENDING

PLANNING BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF CLARK,
COUNTY OF UNION, STATE OF NEW JERSEY
ON _____ BY RESOLUTION # _____

CHAIRPERSON _____ DATE _____

SECRETARY OF PLANNING BOARD _____ DATE _____

TOWNSHIP ENGINEER _____ DATE _____

DO NOT SCALE
1-800-272-1000 (NJ) 811



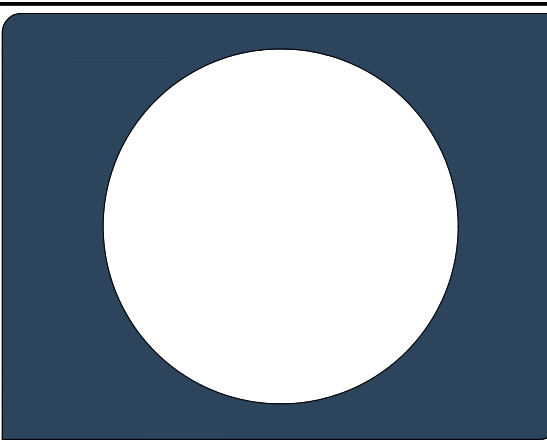
BEFORE YOU DIG ANYWHERE IN NEW JERSEY
CALL 1-800-272-1000 (NJ) 811
THE STATE OF NEW JERSEY REQUIRES THREE (3) DAYS
NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL,
BLAST OR DEMOLISH.

FLOOD ZONE DESIGNATION:

PER FEMA FIRM NO. 34003C0043F, EFFECTIVE 9/20/2006 AND FEMA
FIRM NO. 34003C0043F, PRELIMINARY 2015, THIS PROPERTY IS
LOCATED WITHIN ZONE X AREA OF MINIMAL FLOOD HAZARD AREA
(AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE
FLOODPLAIN); THEREFORE, THE SUBJECT PROPERTY IS NOT WITHIN
A FLOOD HAZARD AREA.

SHEET INDEX

DRAWING TITLE:	
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C-02	EXISTING CONDITIONS PLAN
C-03	DEMOLITION PLAN
C-04	SITE PLAN
C-05	GRADING, DRAINAGE & UTILITY PLAN
C-06	SANITARY SEWER PROFILE
C-07	LIGHTING PLAN
C-07A	LIGHTING DETAILS
C-08	LANDSCAPING PLAN
C-09	SOIL EROSION & SEDIMENT CONTROL PLAN
C-09A	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS
C-10	DETAILS - 1
C-11	DETAILS - 2
C-12	DETAILS - 3
C-13	DETAILS - 4
C-14	DETAILS - 5
C-15	DETAILS - 6
SM-01	SOIL MOVEMENT PLAN



Michael E. Dipple
08/21/2025
Michael E. Dipple, P.E. Date
New Jersey Professional Engineer #24GE04081200

WARNING: IF THIS PLAN DOES NOT CONTAIN A RAISED IMPRESSION SEAL
OVER THE PROFESSIONAL SIGNATURE IT IS NOT AN AUTHORIZED OFFICIAL COPY.

OWNER/APPLICANT:
CLARK BROADWAY ASSOCIATES, LLC
820 MORRIS TURNPIKE
SHORT HILLS, NJ 07078
973.467.5000 (PHONE)

ARCHITECT:
BLACKBIRD GROUP ARCHITECTS LLC
PO BOX 5943
NEWARK, NEW JERSEY 07105
973.954.4650 (PHONE)

SURVEYOR:
KENNON SURVEYING SERVICES, INC.
5 POWDER HORN DRIVE, SUITE 4
WARREN, NJ 07059
732.564.1818 (PHONE)

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PROJECT LOCATION:
MIXED-USE BUILDING
52 WESTFIELD AVENUE
TOWNSHIP OF CLARK
UNION COUNTY, NJ
BLOCK: 105, LOTS: 1.01, 2, 21, 22 & 26.01
TAX MAP: 30

DRAWING TITLE:

COVER SHEET

SCALE: REFER TO DRAWING
DATE: 08/21/2025
DESIGNED: MED
APPROVED: TEC
L2A PROJ. No.: 2501.136
DRAWING No.:

C-01

OWNER/APPLICANT:
CLARK BROADWAY ASSOCIATES, LLC
820 MORRIS TURNPIKE
SHORT HILLS, NJ 07078
973.467.5000 (PHONE)

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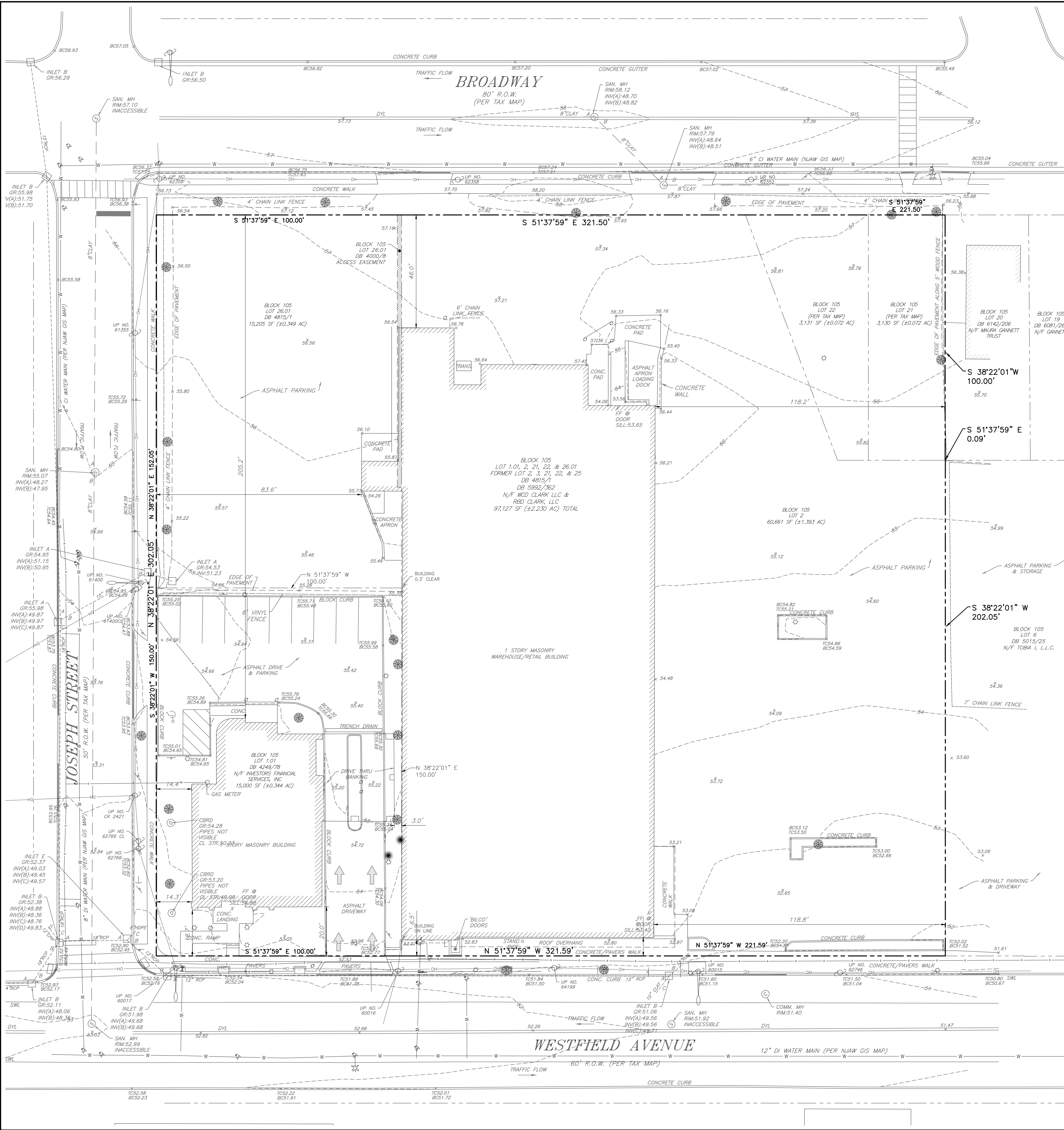
MIXED-USE BUILDING
52 WESTFIELD AVENUE
TOWNSHIP OF CLARK
UNION COUNTY, NJ

BLOCK: 105, LOTS: 1.01, 2, 21, 22 & 26.01
TAX MAP: 30

EXISTING CONDITIONS PLAN

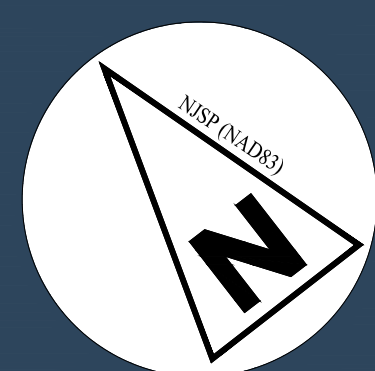
SCALE:	REFER TO DRAWING
DATE	08/21/2025
DESIGNED:	MED
APPROVED:	TEC
I.2A PROJ. No.:	2501.136
DRAWING No.:	

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1. THIS PROJECT REFERENCES A SURVEY PREPARED BY:
KENNON SURVEYING SERVICES, INC.
5 POWDER HORN DRIVE, WARREN, NJ 07059
PROJECT #3109, DATED 8/14/25
732.564.1818(PHONE)
2. PROPERTY LOCATION: BLOCK 105 LOTS 1.01, 2, 21, 22, 26.01
3. PROPERTY ADDRESS: 52 WESTFIELD AVENUE, CLARK, NJ
4. LOT AREA (TOTAL PROPOSED): ±97,127 SF (±2.230 Ac.)
5. TOPOGRAPHIC SURVEY DATA SHOWN HEREON IS BASED ON THE VERTICAL DATUM NAVD 1988.

1. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
2. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
3. THE PROPERTY SURVEY IS CONSIDERED A PART OF THESE PLANS.
4. ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CHANGES. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
5. SOLID WASTE TO BE DISPOSED OF BY THE CONTRACTOR IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
6. ALL EXCAVATED UNSUITABLE MATERIAL SHALL BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
7. THE CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
8. THE PROPERTY CORNERS MUST BE STAKED PRIOR TO THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL ITEMS AND FEATURES WHICH ARE TO REMAIN WHETHER SHOWN ON THE PLANS OR NOT.
10. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY SAFEGUARDS INCLUDING THE INSTALLATION OF SHORING, STRUCTURAL SUPPORTS, PROTECTIVE FENCING AND BARRIERS, ETC., AS MAY BE REQUIRED TO PREVENT UNAUTHORIZED ENTRY INTO THE CONSTRUCTION SITE, DAMAGE TO ADJACENT PROPERTY OR INJURY TO PERSONS.
11. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PERFORM CONSTRUCTION STAKE-OUT OF ALL BUILDINGS AND SITE IMPROVEMENTS.
12. THE CONTRACTOR SHALL PROVIDE AND PAY FOR ALL MATERIALS, LABOR, TOOLS EQUIPMENT, WATER, SANITARY FACILITIES, LIGHT, POWER, HEAT, TELEPHONE, TRANSPORTATION AND SUPERINTENDENCE FOR TEMPORARY CONSTRUCTION, SERVICES AND FACILITIES OF EVERY NATURE WHATSOEVER NECESSARY TO EXECUTE, COMPLETE AND DELIVER THE WORK WITHIN THE SPECIFIED TIME.
13. THE CONTRACTOR SHALL MAINTAIN AND PROTECT TRAFFIC AS REQUIRED DURING THE COURSE OF CONSTRUCTION IN SUCH A MANNER SATISFACTORY TO THE OWNERS FIELD REPRESENTATIVE AND ANY OTHER AUTHORITY HAVING JURISDICTION.
14. THE CONTRACTOR SHALL BE RESPONSIBLE TO REMOVE ALL REFUSE, RUBBISH, SCRAP MATERIALS, UNSUITABLE MATERIALS AND DEBRIS CAUSED BY HIS/HER OPERATIONS SO THAT, AT ALL TIMES, THE SITE OF THE WORK SHALL PRESENT A NEAT, ORDERLY AND WORKMANLIKE APPEARANCE.
15. THE CONTRACTOR SHALL, AT HIS/HER OWN EXPENSE, REPAIR OR REPLACE ALL GROUND SURFACES, PAVEMENTS, SIDEWALKS, CURBS, ETC., WHICH ARE TO REMAIN AND WHICH MAY BECOME DISTURBED OR DAMAGED DUE TO HIS/HER OPERATION.
16. ALL IMPROVEMENTS ARE TO BE MADE IN COMPLIANCE WITH 2010 ADA STANDARDS OR MOST CURRENT.
17. ALL TRAFFIC SIGNAGE AND STRIPPING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF MUTCD.



Michael E. Dipple

Michael E. Dipple, P.E. Date 08/21/2025

New Jersey Professional Engineer #24GE04081200

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SURVEYOR:

KENNON SURVEYING SERVICES, INC.
5 POWDER HORN DRIVE, SUITE 4
WARREN, NJ 07059
732.564.1818 (PHONE)

PROJECT LOCATION:

MIXED-USE BUILDING

52 WESTFIELD AVENUE

TOWNSHIP OF CLARK

UNION COUNTY, NJ

BLOCK: 105, LOTS: 1.01, 2, 21, 22 & 26.01

TAX MAP: 30

DRAWING TITLE:

DEMOLITION PLAN

SCALE: REFER TO DRAWING

DATE: 08/21/2025

DESIGNED: MED

APPROVED: TEC

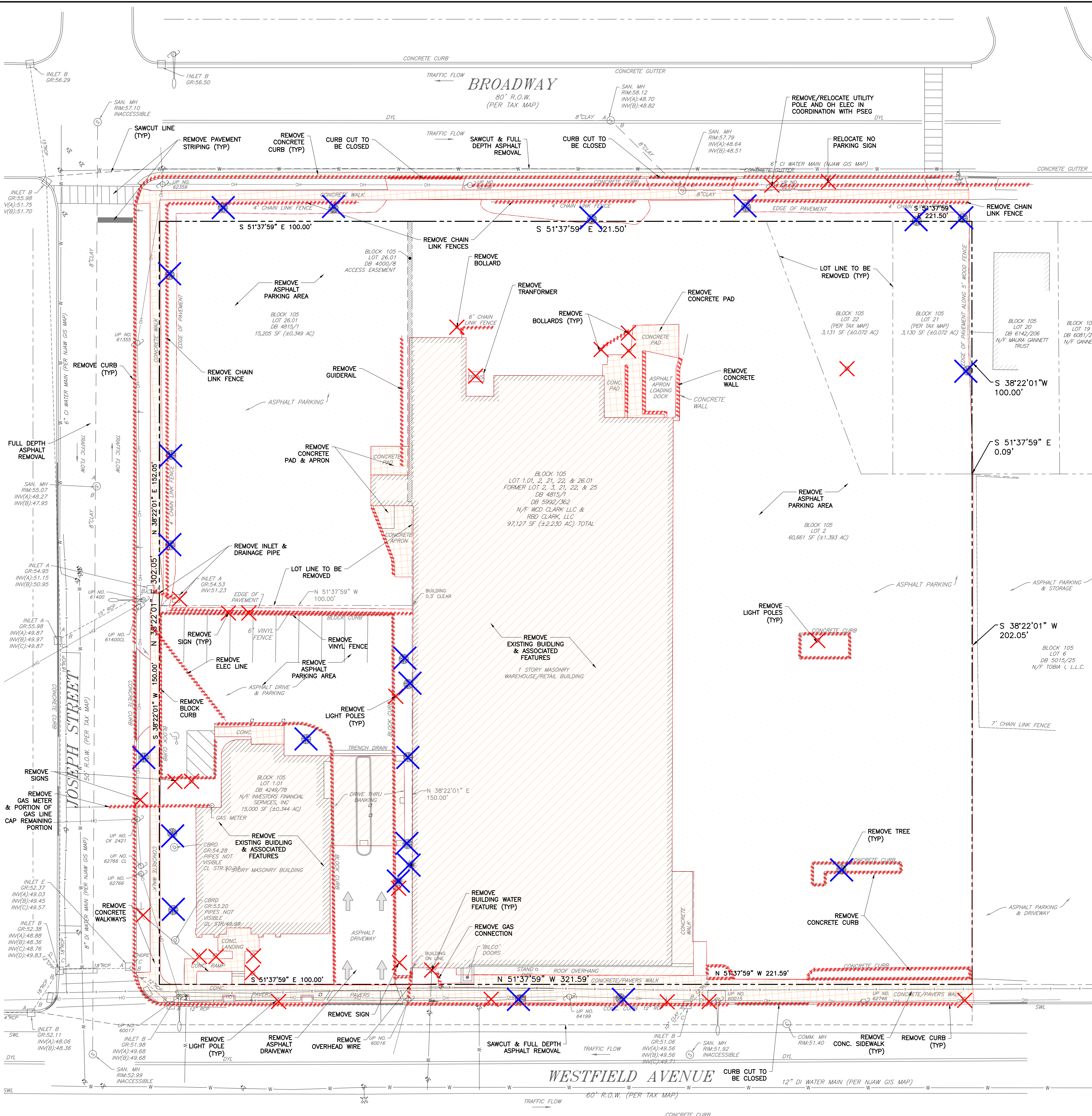
L2A PROJ. No.: 2501.136

DRAWING No.:

C-03

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DEMOLITION AND REMOVAL NOTES

- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE, AND LOCAL REGULATIONS.
- WHEREVER ASPHALT OR CONCRETE PAVEMENT IS REMOVED, THE CONTRACTOR SHALL SAW-CUT AND NEATLY TRIM THE EDGE OF REMAINING PAVEMENTS BEFORE INSTALLING NEW CONSTRUCTION. ASPHALT PAVEMENT SHALL BE REMOVED TO THE SUBGRADE.
- WHERE REMOVAL OF CONCRETE CURB IS SHOWN ON THE CONTRACT DRAWINGS, THE REMOVAL LIMITS SHALL BE TO THE NEAREST CURB JOINTS.
- DEMOLITION USING EXPLOSIVE, INCENDIARY, OR WRECKING BALL METHODS IS PROHIBITED.
- CONDUCT DEMOLITION/REMOVAL OPERATIONS AND DISPOSAL OF DEBRIS TO ENSURE MINIMUM INTERFERENCE WITH THE USE OF, OR ACCESS TO, ADJACENT BUILDINGS OR CONSTRUCTION SITE AREA. DO NOT UNNECESSARILY OBSTRUCT SIDEWALKS OR STREETS.
- PROVIDE TEMPORARY INTERIOR SHORING, BRACING AND/OR SUPPORT AS REQUIRED ENSURING THAT MOVEMENT OR SETTLEMENT OF STRUCTURES TO BE DEMOLISHED IS SAFELY CONTROLLED AND COLLAPSE IS PREVENTED.
- USE WATER SPRINKLING, ENCLOSED CHUTES, AND/OR TEMPORARY ENCLOSURES TO LIMIT DUST AND DIRT RISING AND SCATTERING IN THE AIR. PROVIDE A WATER TRUCK, WATER LINE, AND HOSES FOR THIS PURPOSE. DO NOT USE WATER WHEN IT MAY CREATE HAZARDOUS OR OBJECTIONABLE CONDITIONS SUCH AS ICING OR FLOODING.
- DO NOT DISTURB SERVICE TO OFF-SITE FIRE HYDRANTS IN ANY WAY WITHOUT WRITTEN APPROVAL OF THE ENGINEER. IF, WITH WRITTEN APPROVAL OF THE ENGINEER, WATER SERVICE TO ANY AREA IS DISRUPTED, MAKE PROVISIONS TO ENSURE ADEQUATE FIRE PROTECTION FOR SUCH AREA.
- AT ALL TIMES, MAINTAIN ACCESSIBILITY FROM THE STREET TO ALL FIRE HYDRANTS, TRAFFIC SIGNALS, POWER OR LIGHT POLES, MAILBOXES, AND SIMILAR UTILITY AND PUBLIC SERVICE ITEMS ADJACENT TO THE CONSTRUCTION SITE.
- DO NOT INTERRUPT UTILITIES SERVING OCCUPIED OR USED AREAS, EXCEPT WHEN AUTHORIZED BY THE ENGINEER. PROVIDE TEMPORARY SERVICES DURING SUCH INTERRUPTIONS AS APPROVED BY THE ENGINEER.
- DO NOT STORE ANY MATERIALS, RUBBISH, DIRT, DEBRIS, OR WASTE OF ANY SORT RESULTING FROM THE DEMOLITION OPERATIONS ON THE FLOOR OF PARTIALLY DEMOLISHED STRUCTURES OR ADJACENT CONSTRUCTION SITE AREAS.
- DISPOSE DEBRIS, RUBBISH, AND OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS AWAY FROM THE CONSTRUCTION SITE.
- DO NOT BURN, BURY, OR OTHERWISE DISPOSE OF DEBRIS, RUBBISH, OR OTHER MATERIALS RESULTING FROM DEMOLITION OPERATIONS.
- STORAGE OR SALE OF ITEMS OF SALVABLE VALUE TO THE CONTRACTOR IS PROHIBITED AT THE CONSTRUCTION SITE.
- MANHOLES & INLETS AFFECTED BY ROADWAY CONSTRUCTION SHALL BE RESET TO FINAL FINISHED GRADE.
- UTILITY PROVIDERS SHALL BE CONTACTED PRIOR TO ANY WORK, SUCH AS RELOCATION OF EXISTING FIRE HYDRANTS, TRANSFORMERS, GAS METERS, METER CABINETS, OR SIMILAR FEATURES.

LOT CONSOLIDATION NOTES:

- LOTS 1.01, 2, 21, 22, & 26.01 WILL BE MERGED INTO A SINGLE PARCEL.
- THE TAX ASSESSOR OF THE TOWNSHIP OF CLARK SHALL ASSIGN A NEW LOT DESIGNATION TO THE MERGED PARCEL.

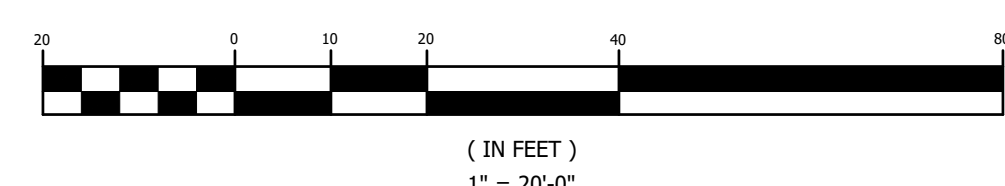


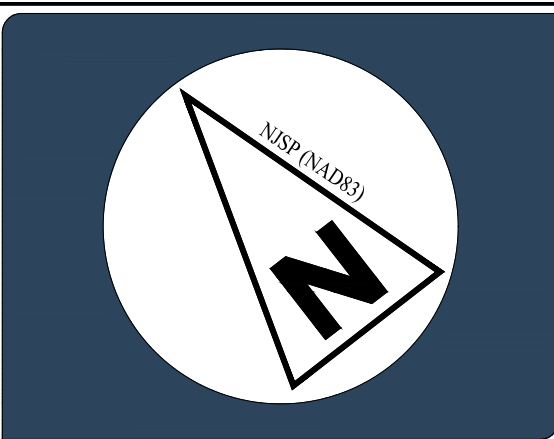
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NOTICE TO UTILITIES BEFORE YOU EXCAVATE, DRILL,
BLAST OR DEMOLISH.

DEMOLITION LEGEND

ASPHALT REMOVAL	REMOVE LINEAR FEATURE	////
HARDSCAPE REMOVAL	REMOVE INDIVIDUAL FEATURE	X
STRUCTURE REMOVAL	TREE REMOVAL	X

GRAPHIC SCALE





Michael E. Dipple, P.E. Date
New Jersey Professional Engineer #24GE04081200
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ARCHITECT:
BLACKBIRD GROUP ARCHITECTS LLC
PO BOX 5943
NEWARK, NEW JERSEY 07105
973.954.4650 (PHONE)

[illegible]

DRAWING TITLE:

SCALE:	REFER TO DRAWING
DATE	08/21/2025
DESIGNED:	MED
APPROVED:	TEC
L2A PROJ. No.:	2501.136
DRAWING No.:	

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ZONE: WESTFIELD AVENUE REDEVELOPMENT PLAN (PER SECTION VII AND VIII)		PERMITTED	EXISTING	PROPOSED	VARIANCE
MINIMUM LOT AREA (SF)		80,000 SF	97,127 SF	97,127 SF	NO
MINIMUM LOT FRONTAGE (Ft.)		150 Ft.	302.1 Ft.	302.1 Ft.	NO
MINIMUM FRONT YARD SETBACK (Ft.) ¹	WESTFIELD AVENUE	20 Ft.	11.5 Ft.	20.8 Ft.	NO
	JOSEPH STREET	10 Ft.	24.2 Ft.	12.6 Ft.	NO
	BROADWAY	10 Ft.	65.4 Ft.	11.9 Ft.	NO
MINIMUM SIDEWALK WIDTH (Ft.) ¹	WESTFIELD AVENUE	18 Ft. / 20 Ft.	7.8 Ft.	18.0 Ft. / 20.0 Ft.	NO
	JOSEPH STREET	10 Ft.	3.8 Ft.	10.0 Ft.	NO
	BROADWAY	10 Ft.	3.6 Ft.	10.0 Ft.	NO
MINIMUM SIDE YARD SETBACK (Ft.)		12 Ft.	110.2 Ft.	12.0 Ft.	NO
MAXIMUM BUILDING COVERAGE (%)		85%	30.33%	84.68%	NO
MAXIMUM IMPERVIOUS COVER (%)		95%	94.88%	93.47%	NO
MINIMUM LANDSCAPED AREA (%)		5%	5.12%	6.53%	NO
MAXIMUM BUILDING HEIGHT (Stories/Ft.) ²		4 Stories / 52 Ft.	N/A	4 Stories / 49.92 Ft.	NO
MAXIMUM DENSITY (Units/Acre)		63 Units/Acre	N/A	61.9 Units/Acre	NO

1. FRONT YARD - ALL STREET FRONTAGES SHALL BE TREATED AS A FRONT YARD. THERE SHALL BE MINIMUM FRONT YARD REQUIREMENTS IN ORDER TO ENCOURAGE COMMERCIAL USES TO BE MORE CLOSELY ORIENTED TO THE STREET; INCLUDING A MINIMUM SIDEWALK WIDTH OF 20 FEET AS MEASURED FROM THE FACE OF CURB SHALL BE REQUIRED ALONG WESTFIELD AVENUE AND 10 FEET ALONG OTHER STREETS. TWO FOOT ARTICULATIONS ARE ALLOWED ALONG THE WESTFIELD AVENUE FRONTAGE PROVIDING A MINIMUM OF 18 FEET OF SIDEWALK AS MEASURED FROM THE CURB FACE. BUILDINGS SHALL BE SET BACK AT LEAST THAT DISTANCE TO ACHIEVE THESE SIDEWALK WIDTHS. PARKING IS ALLOWED IN THE FRONT YARD.
2. BUILDING HEIGHT SHALL BE MEASURED FROM THE FINISHED GROUND FLOOR ELEVATION TO THE TOP OF ROOF; NOT INCLUDING PARAPETS, ROOFTOP EQUIPMENT AND APPURTENANCES, GABLES AND OTHER SIMILAR DECORATIVE FEATURES. (LOWEST FINISHED GRADE = 52.90)

<u>PARKING REQUIREMENTS</u>	<u>REQUIRED</u>	<u>TOTAL REQUIRED</u>	<u>PROPOSED</u>	<u>VARIANCE</u>
<u>RESIDENTIAL</u> ¹	138 X 1.7 SPACES = <u>235 SPACES</u>	260 SPACES	236 GARAGE SPACES + 11 SPACES ALONG JOSEPH STREET + 16 SPACES ALONG BROADWAY	NO
<u>NON-RESIDENTIAL</u> ²	11 SPACES ALONG JOSEPH STREET 14 SPACES ALONG BROADWAY STREET		= 265 SPACES	

1. 1.7 SPACES SHALL BE PROVIDED FOR EACH RESIDENTIAL UNIT. A MINIMUM OF ONE OFF-STREET PARKING SPACE SHALL BE BUNDLED WITH THE RENT, I.E., THERE SHALL BE NO ADDITIONAL CHARGE FOR OFF-STREET PARKING. **(COMPLIES)**
2. NO OFF-STREET PARKING IS REQUIRED. RATHER, ANGLED PARKING IMPROVEMENTS SHALL BE MADE ON THE EASTERN SIDE OF THE JOSEPH STREET RIGHT-OF-WAY AND THE SOUTHERN SIDE OF THE BROADWAY RIGHT-OF-WAY. A MINIMUM OF 11 ON-STREET ANGLED SPACES SHALL BE PROVIDED ON JOSEPH STREET AND 14 ANGLED ON-STREET SPACES ON BROADWAY FOR PUBLIC USE.
3. TADPOLE SPACES ARE PERMITTED AND SHALL BE COUNTED AS TWO PARKING SPACES IF BOTH SPACES ARE ASSIGNED TO THE SAME RESIDENTIAL UNIT OR IF A VALET SERVICE IS PROVIDED.
4. NO OFF-STREET PARKING SHALL BE LOCATED WITHIN THE FRONT YARD ALONG WESTFIELD AVENUE. FRONT YARD AND SIDE YARD PARKING IS ALLOWED ON OTHER STREET FRONTS.
5. ALL OFF-STREET PARKING SHALL BE SURFACED IN ACCORDANCE WITH TOWNSHIP STANDARDS.
6. ALL INGRESS AND EGRESS TO THE SITE, AND ALL INTERIOR DRIVES AND DRIVE-AISLES SHALL BE LOCATED AND DESIGNED TO REDUCE TRAFFIC CONFLICTS AND PROMOTE PEDESTRIAN SAFETY TO THE GREATEST DEGREE PRACTICABLE AND CONFORM WITH TOWNSHIP STANDARDS. NO CURB CUTS ARE PERMITTED ALONG WESTFIELD AVENUE.
7. BUILDING SCREENING ALONG BROADWAY AND JOSEPH STREET SHALL BE SCREENED ALONG THE LOT LINE. SUCH SCREEN SHALL BE A MINIMUM FIVE FOOT WIDE PLANTING STRIP CONSISTING OF SHRUBS OR EVERGREENS AT LEAST 3 FEET HIGH. SUCH PLANTING OR HEDGE SHALL BE MAINTAINED IN GOOD CONDITION. IN ADDITION, ADEQUATE BUILDING SCREENING SHALL BE PROVIDED ALONG THE BROADWAY FRONTAGE. NO SCREENING IS NECESSARY ALONG THE WESTFIELD AVENUE FRONTAGE. SUCH SCREENING SHALL BE INDICATED ON THE SITE PLAN AND SUBJECT TO REVIEW AND APPROVAL BY THE CLARK PLANNING BOARD.

AS PER AS PER §310-48(1)(4)(a) AND SECTION (D)(1)(a), IN THE DCA MODEL STATEWIDE MUNICIPAL EV ORDINANCE, FOR MIXED-USE DEVELOPMENTS AT LEAST 15 PERCENT OF THE REQUIRED OFF-STREET PARKING SPACES, AND INSTALL EVSE IN AT LEAST ONE-THIRD OF THE 15 PERCENT OF MAKE-READY PARKING SPACES.

- 15% OF 235 APARTMENT SPACES = 35.25 = 36 MAKE-READY SPACES (COMPLIES)
 - 1/3 OF 36 = 12 SPACES TO BE INSTALLED AT TIME OF CONSTRUCTION (PROPOSED 12 SPACES: COMPLIES)
 - *ADDITIONAL 12 EV SPACES TO BE INSTALLED WITHIN THREE YEARS OF CERTIFICATE OF OCCUPANCY ISSUANCE
 - **FINAL 12 SPACES TO BE INSTALLED WITHIN SIX YEARS OF CERTIFICATE OF OCCUPANCY ISSUANCE
 - ***5% OF 36 = 1.8 ~ 2 EV SPACES TO BE ADA ACCESSIBLE
- TOTAL PROVIDED = 36 CHARGING SPACES (INCLUDING 2 ADA SPACES)
- *WITHIN THREE YEARS FOLLOWING THE DATE OF THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, INSTALL EVSE IN AN ADDITIONAL ONE-THIRD OF THE ORIGINAL 15 PERCENT OF MAKE-READY PARKING SPACES.
- **WITHIN SIX YEARS FOLLOWING THE DATE OF THE ISSUANCE OF THE CERTIFICATE OF OCCUPANCY, INSTALL EVSE IN THE FINAL ONE-THIRD OF THE ORIGINAL 15 PERCENT OF MAKE-READY PARKING SPACES.
- ***THROUGHOUT THE INSTALLATION OF EVSE IN THE MAKE-READY PARKING SPACES, AT LEAST FIVE PERCENT OF THE ELECTRIC VEHICLE SUPPLY EQUIPMENT SHALL BE ACCESSIBLE FOR PEOPLE WITH DISABILITIES.

	TOTAL LOT AREA	BUILDING COVERAGE	ASPHALT & CONCRETE	OPEN SPACE (PERVIOUS)
EXISTING CONDITIONS	97,127 SF	29,463 SF	62,695 SF	4,969 SF
PROPOSED CONDITIONS	97,127 SF	82,245 SF	8,536 SF	6,346 SF
NET CHANGE	0 SF (NO CHANGE)	+ 52,782 SF	- 54,159 SF ¹	+ 1,377 SF

1. INCLUDES A 59,676 SF REDUCTION IN REGULATED MOTOR VEHICLE SURFACES (ASPHALT

SIGNAGE STANDARD	REQUIRED	PROPOSED	VARIANCE
WALL SIGN	MAXIMUM PROJECTION FROM FACE OF BUILDING: 18 INCHES MAXIMUM AREA: 10% OF THE FACADE AREA MAXIMUM NUMBER OF SIGNS: ONE SIGN PER STREET FRONTAGE ²	≤ 18 INCHES ≤ 10% OF EACH FACADE'S AREA 1 SIGN ON WESTFIELD AVE. 1 SIGN ON JOSEPH ST.	NO NO NO NO

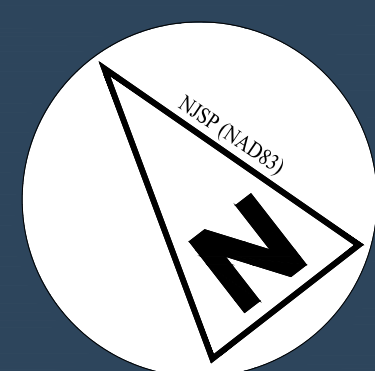
1. PER ORD. § 195-19; FOR PROPERTIES ON CORNER LOTS, ONE SIGN MAY BE PERMITTED ON EACH STREET FRONTAGE, PROVIDING THAT THE AGGREGATE AREA OF SIGNS IS NOT GREATER THAN 1 1/2 TIMES THE AREA OF A SINGLE SIGN AS HEREINAFTER SPECIFIED.
2. PER WESTFIELD AVE. RDP SECTION VI(D)(2); PERMITTED SIGN TYPE SHALL BE SIGN BAND INTEGRATED INTO ARCHITECTURAL STYLE. **(COMPLIES)**
3. PER WESTFIELD AVE. RDP SECTION VI(D)(3); SIGN ILLUMINATION SHALL NOT BE FLASHING OR MOVING. INDIRECT LIGHTING, HALO LIGHTING ENCOURAGED. **(COMPLIES)**

	EXISTING	PROPOSED		EXISTING	PROPOSED		EXISTING	PROPOSED
PROPERTY LINE (PQ)	=====	SIGN			SIDEWALK			
PROPERTY LINE	-----	UTILITY POLE			CURB LINE	-----	-----	
SETBACK LINE	-----	VINYL FENCE			DEPRESSED CURB	-----	-----	

(IN FEET)
1" = 20'-0"

1 BEDROOM		2 BEDROOM		3 BEDROOM	
MARKET RATE	AFFORDABLE	MARKET RATE	AFFORDABLE	MARKET RATE	AFFORDABLE
17 UNITS	3 UNITS	88 UNITS	12 UNITS	12 UNITS	6 UNITS
20 UNITS		100 UNITS		18 UNITS	
		138 UNITS ¹			

1. 63 DWELLING UNITS PER ACRE, WITH A MAXIMUM OF 140 DWELLING UNITS INCLUSIVE OF A 15% AFFORDABLE HOUSING SET ASIDE. **(COMPLIES)**



Michael E. Dipple
Michael E. Dipple, P.E.
Date
New Jersey Professional Engineer #24GE04081200

OWNER/APPLICANT:
CLARK BROADWAY ASSOCIATES, LLC
820 MORRIS TURNPIKE
SHORT HILLS, NJ 07078
973.467.5000 (PHONE)

ARCHITECT:
BLACKBIRD GROUP ARCHITECTS LLC
PO BOX 5943
NEWARK, NEW JERSEY 07105
973.954.4650 (PHONE)

SURVEYOR:
KENNON SURVEYING SERVICES, INC.
5 POWDER HORN DRIVE, SUITE 4
WARREN, NJ 07059
732.564.1818 (PHONE)

PROJECT LOCATION:
MIXED-USE BUILDING
52 WESTFIELD AVENUE
TOWNSHIP OF CLARK
UNION COUNTY, NJ
BLOCK: 105, LOTS: 1.01, 2, 21, 22 & 26.01
TAX MAP: 30

DRAWING TITLE:
GRADING, DRAINAGE & UTILITY PLAN

SCALE:
REFER TO DRAWING

DATE
08/21/2025

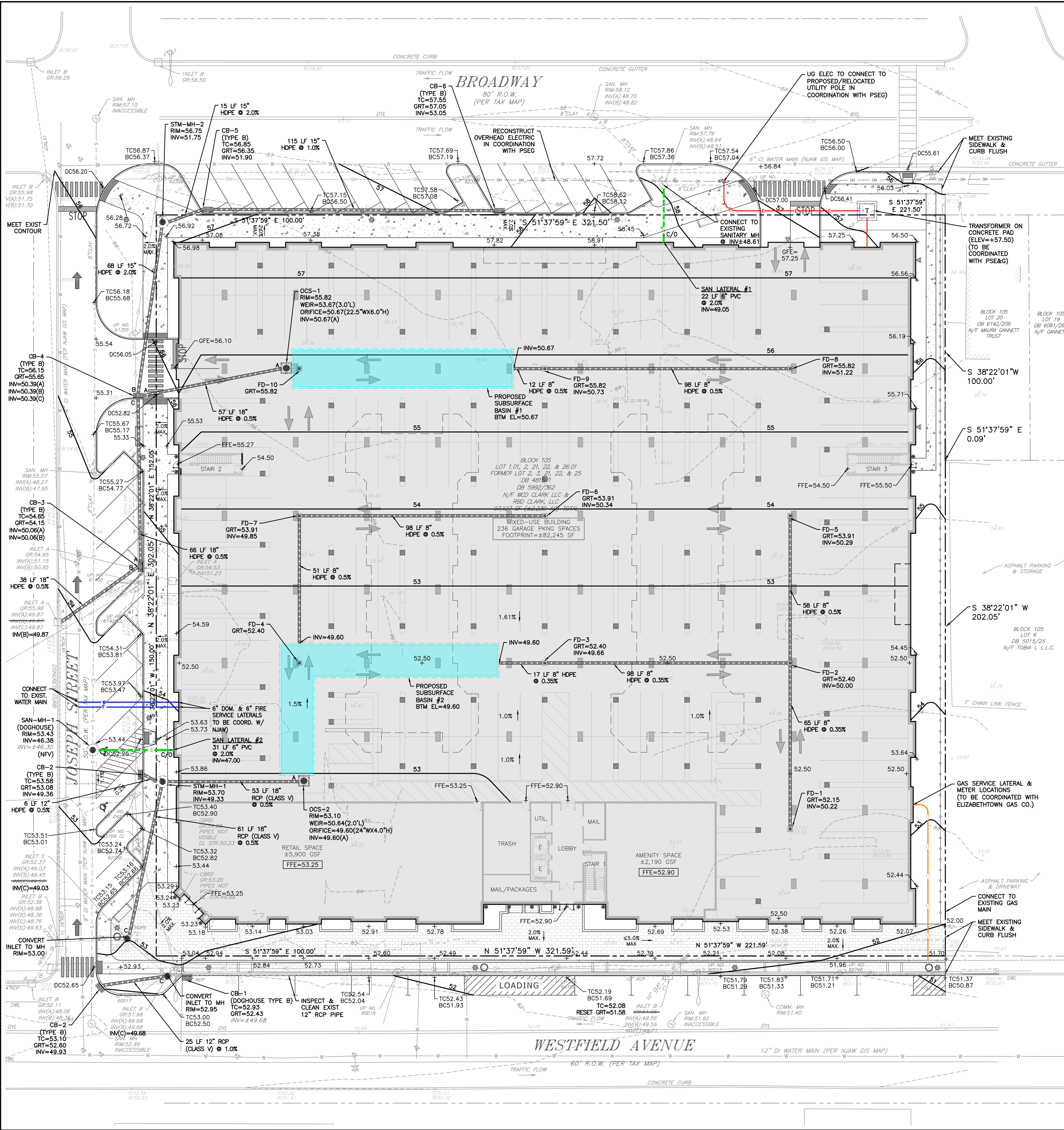
DESIGNED:
MED

APPROVED:
TEC

L2A PROJ. No.:
2501.136

DRAWING No.:
C-05

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EXISTING & PROPOSED UTILITY LOCATIONS ARE APPROXIMATE. PRIOR TO CONSTRUCTION/DEMOLITION, THE CONTRACTOR SHALL FIELD LOCATE ALL EXISTING UTILITY LATERAL CONNECTIONS. ONCE LOCATED, THE ENGINEER SHALL BE CONTACTED TO VERIFY THE SUITABILITY OF THE EXISTING LATERALS PRIOR TO CONSTRUCTION/DEMOLITION. THE CONTRACTOR SHALL ALSO COORDINATE WITH THE SERVICE PROVIDERS PRIOR TO CONSTRUCTION/DEMOLITION.

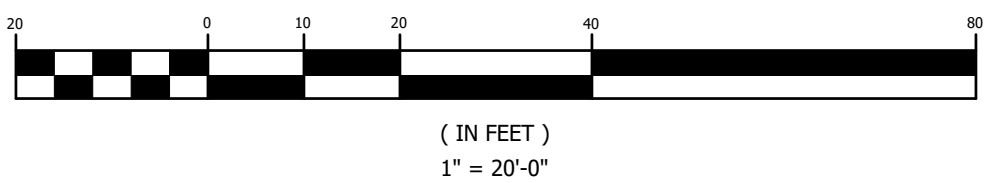
- GRADING, EXCAVATION, AND BACKFILLING NOTES:**
1. THE ELEVATIONS SHOWN ON THESE PLANS REFER TO THE US&G DATUM PER REFERENCE MAPPING.
 2. THE CONTRACTOR SHALL PREVENT WATER FROM ENTERING EXCAVATED AREA AND MAINTAIN A DRY CONDITION AT ALL TIMES.
 3. DO NOT PLACE FILL OR BACKFILL ON FROZEN SUBGRADE.
 4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE SOIL MATERIAL. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
 5. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. FIELD ADJUST TO CREATE A MINIMUM OF 0.75% GUTTER GRADE ALONG CURB FACE.
 6. CIRCULAR REINFORCED CONCRETE PIPE SHALL BE CLASS III UNLESS OTHERWISE STATED ON THE CONTRACT DRAWINGS. (ASTM C-76, ASTM C-443, AASHTO M-170).
 7. ALL COUNTY RIGHT-OF-WAY AND/OR ROADWAY EASEMENT AREA(S) SHALL BE GRADED TO A MAXIMUM SLOPE OF TWO (2%) PERCENT AND SHALL BE KEPT FREE OF ENCUMBRANCES (INCLUDING BUT, NOT LIMITED TO RETAINING WALLS, DECORATIVE BOULDERS/BERMS).
 8. ANY AND ALL SIDEWALKS, CURBING, & HANDICAP RAMPS MUST BE CONSTRUCTED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT AND INCLUDE TRUNCATED DOME DELINEATION.
 9. COORDINATE BASE NAVD88 HAS BEEN USED.
 10. PER THE PHASE II ESA CONDUCTED ON THE SITE JULY 2023 BY J.S. HELD, LLC, EIGHT (8) SOIL BORINGS WERE PERFORMED ON THE SITE AND GROUNDWATER WAS NOT ENCOUNTERED AT DEPTHS OF 8FT BELOW GRADE SURFACE OR GREATER.

- UTILITY NOTES**
1. ALL LAWN AND LANDSCAPE AREAS GREATER THAN 150 SQUARE FEET SHALL HAVE AN IRRIGATION SYSTEM.
 2. LOCATION OF ELECTRIC AND COMMUNICATION SERVICES IS APPROXIMATE AND MUST BE CONFIRMED BY SERVICE PROVIDER. LOCATIONS OF TRANSFORMERS, PULL BOXES, ETC., AS WELL AS CONSTRUCTION SPECIFICATIONS TO BE DETERMINED AT PRE-CONSTRUCTION MEETING WITH UTILITY PROVIDER.
 3. IT IS THE CONTRACTORS RESPONSIBILITY TO CALL THE NJ ONE CALL CENTER A MINIMUM OF 72 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.
 4. LOCATION OF EXISTING UTILITIES IS APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATIONS INDEPENDENTLY PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY SHOULD DISCREPANCIES EXIST.
 5. CONTRACTOR SHALL REFER TO ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF UTILITY CONNECTIONS TO BUILDING(S). SHOULD ANY DISCREPANCIES EXIST, THE ARCHITECTURAL PLANS SHALL GOVERN. CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY SHOULD DISCREPANCIES IN UTILITY SERVICES EXIST.
 6. SHOULD INTERFERENCE BETWEEN UTILITIES BE ENCOUNTERED, THE CONTRACTOR SHALL CONTACT THE ENGINEER IMMEDIATELY.
 7. WHERE SHOWN ON THE CONTRACT DRAWINGS, ADJUST THE CASTINGS OF EXISTING CATCH BASINS, MANHOLES AND VALVE BOXES TO FINISHED GRADE OF NEW PAVEMENT.
 8. WHERE CONNECTIONS TO EXISTING DRAINAGE OR SANITARY STRUCTURES ARE REQUIRED, CUT NEATLY WITHOUT PERCUSSION INTO THE EXISTING STRUCTURE. THE MAXIMUM SIZE OF THE OPENING SHALL NOT EXCEED THE PIPE'S OUTER DIAMETER PLUS THREE (3") INCHES. CONNECT THE NEW PIPE AND SEAL AROUND IT WITH SIKAFLEX-2C OR APPROVED EQUAL.
 9. PORTLAND CEMENT CONCRETE SHALL BE CLASS B, 28 DAY COMPRESSIVE STRENGTH OF 4,500 PSI, AIR-ENTRAINED UNLESS OTHERWISE NOTED. ALL EXISTING UTILITIES SHALL BE ADJUSTED TO FINAL GRADE IN ACCORDANCE WITH CURRENT TOWNSHIP REQUIREMENTS AND PRACTICES.
 10. THE ROADWAY AND CURBING MARK-OUTS MUST BE ESTABLISHED PRIOR TO THE INSTALLATION OF NEW UTILITIES.
 11. DUCTILE IRON CEMENT PIPE SHALL BE CLASS 52 FOR DIAMETERS FOUR (4) INCHES AND LARGER.
 12. STORM DRAIN PIPES SHALL BE REINFORCED CONCRETE PIPE IN ALL CASES AND SHALL BE OF THE SIZE SPECIFIED AND LAID TO THE EXACT LINES AND GRADES APPROVED BY THE ENGINEER.
 13. REINFORCED CONCRETE PIPE SHALL CONFORM TO A.S.T.M. SPECIFICATIONS C76.
 14. ALL PIPES SHALL BE CLASS III STRENGTH EXCEPT WHERE STRONGER PIPE IS REQUIRED AND INDICATED ON THE PLANS.
 15. JOINTS SHALL BE MADE WITH O-RING RUBBER GASKETS.

GRADING & UTILITY LEGEND

	EXISTING	PROPOSED		EXISTING	PROPOSED
WATER VALVE			WATER METER		
FIRE HYDRANT			WATER/FIRE SHUT OFF		
GAS VALVE			GAS METER		
UTILITY POLE			SAN. CLEAN OUT		
SANITARY MANHOLE			CATCH BASIN		
ELECTRICAL MANHOLE			O.C.S.		
STORM MANHOLE			HEADWALL		
BOLLARD			TREE		
RETAINING WALL			FLAGPOLE		
SIGN			SIDEWALK		
HANDICAP SYMBOL			CURB LINE		
ADA WARNING SURFACE			DEPRESSED CURB		
EV PARKING STALL			EV CHARGER		
EXISTING CONTOUR			TREE LINE		
PROPOSED CONTOUR			WATER LINE		
PROPERTY LINE (PQ)			GAS LINE		
PROPERTY LINE			ELECTRIC LINE		
SETBACK LINE			OVERHEAD WIRES		
WETLANDS BOUNDARY			SANITARY SEWER		
STREAM OR BROOK			STORM SEWER		
CHAIN LINK FENCE			GUIDE RAIL		
WOOD FENCE			VINYL FENCE		

GRAPHIC SCALE



Michael E. Dipple, P.E.	Date
New Jersey Professional Engineer #24GE04081200	
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ARCHITECT:
BLACKBIRD GROUP ARCHITECTS LLC
PO BOX 5943
NEWARK, NEW JERSEY 07105
973.954.4650 (PHONE)

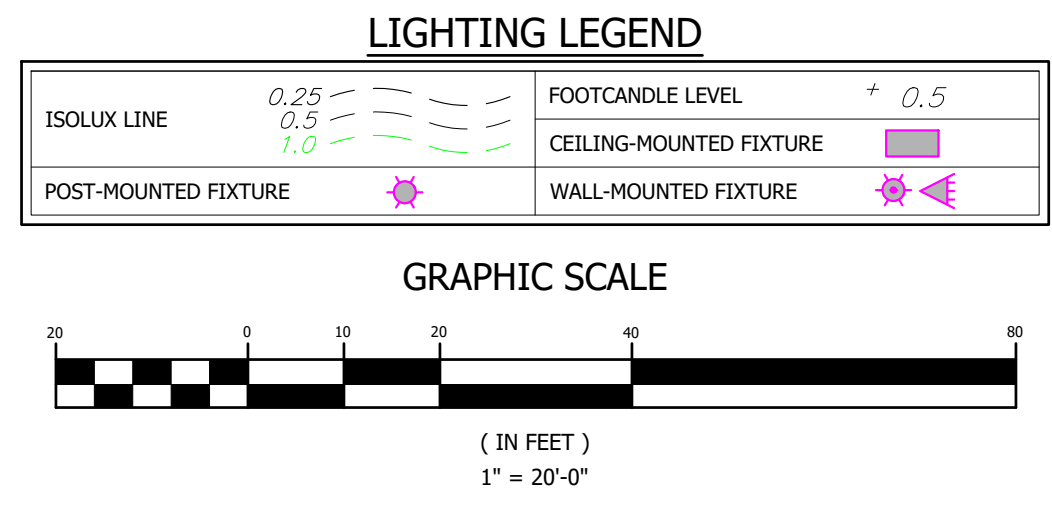
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DRAWING TITLE:

LIGHTING PLAN

SCALE:	REFER TO DRAWING
DATE	08/21/2025
DESIGNED:	MED
APPROVED:	TEC
L2A PROJ. No.:	2501.136
DRAWING No.:	

C-07



C/C	COLOR	PART #	LED	DIST.	COLOR TEMP.	WATTS CONSUMED	DELIVERED LUMENS	IES FILE	EPA/WEIGHT
05-8317	BLACK	C4730F-A	64	3	4000K	88W	10174	RL32-D-W-N-4	2.08/55 LBS.
-	BLACK	C4730H-A	64	3	4000K	39W	4833	RL32-D-W-N-2	2.08/55 LBS.
-	BLACK	C4730L-A	64	3	3000K	88W	9429	RL32-D-W-W-4	2.08/55 LBS.
-	BLACK	C4730M-A	64	3	3000K	39W	4571	RL32-D-W-W-2	2.08/55 LBS.

18.43

40.88

PC/CONTROL NODE
(supplied by others)

7-PIN TWIST-LOOK
RECEPTACLE

ROOF:
SPUN ALUMINUM

CAGE ASSEMBLY:
DIE-CAST ALUMINUM,
(4) LEGS EA. W/ SQUARE
CAST ALUMINUM FLOWER
BLOCK, RECTANGULAR BAND
AROUND TOP OF CAGE

LED MODULE:
TYPE 3 LUMILOCK W/
WIDE OPTICS (see
specification notes)

REFRACTIVE GLOBE:
PRISMATIC ACRYLIC

DRIVER COVER:
DIE-CAST ALUMINUM
W/ TOOL-LESS ENTRY

CAMDEN ADAPTER
CAST ALUMINUM

DRIVER ENCLOSURE:
DIE-CAST ALUMINUM W/
SIDE-HINGED ACCESS
DOOR

17x1" ANSI WATTAGE LABEL
TO BE AFFIXED TO DOOR,
LABEL TO BE ROUNDED TO THE
NEAREST WATT PER IES FILE

SUP FITTER: 3" I.D.

FASTENERS:
5/16-18 STAINLESS STEEL HEX
HEAD BOLTS W/ LOCKING NUTS

Top View
LED Module Assembly

4-PIN MALE
DISCONNECT

Lumilock LED Specifications:

- 64, specify 4000K (neutral) or 3000K (warm) LEDs, typical 75 Color Rendering Index (CRI), >100,000 hours of operational life (at 25°C ambient temperature & 70% lumen maintenance), injection molded optical plates, IP66 rated optical system.
- Integral Advance Titanium LED driver, class 1, IP66 rated, specify 200mA or 450mA, 0-10V dimming, IntellWall 120-277 VAC, 50-60Hz, RoHS compliant, field replaceable 20W/20KA in-series surge protection.

Lumilock Certifications:

- ETL/cETL listed to U.S. & Canadian safety standards for wet locations, manufactured to ISO 9001:2008 Standards, vibration tested to ANSI C136.31 for normal applications, UL8750 & UL1596 compliant, UL79 & UL80 tested, DLC listed.

PSEG

PUBLIC SERVICE ELECTRIC
AND GAS COMPANY NEWARK, N.J.

HADCO

is a Philips group brand

JOB NAME:
Hagerstown ~ LED

SCALE: 1:8
DATE: 09/18/19
REP: Dave Murphy
& Associates

DRAWN BY: SMK
REV: D
B1: SMK

DRAWING NUMBER:
C4730-DWG04
POK: 23-010
DATE: 10/03/23

3" O.D. x 3" L.G.

9.00

20.50

16.00

4-PIN FEMALE
DISCONNECT

OUTLET: 120V SINGLE, WEATHERPROOF
W/ CLEAR IN-USE COVER (outlet cover
only shipped in base & to be field
installed)

POLE: 9" O.D. STRAIGHT FLAT
FLUTE SHAFT W/ 3" O.D. TENON
0.188" - 0.267" WALL THICKNESS
6005-T5 ALUMINUM ALLOY

GROUND LUG TO BE
PROVIDED IN BASE,
MOUNTED OPPOSITE
DOOR

ACCESS DOOR

(Specify height)

SHAFT CROSS SECTION

5.00 O.D.

0.267 WALL

0.188 NOM. WALL

4.040 I.D.

PSEG

PUBLIC SERVICE ELECTRIC
AND GAS COMPANY NEWARK, N.J.

HADCO

is a Philips group brand

JOB NAME:
Classic 1

SCALE: 1/12
DATE: 04/28/08
REP: Dave Murphy &
Associates

DRAWN BY: KMS
REV: M
BY: JRS

DRAWING NUMBER:
SP5844
REP. TERRITORY:
52
DATE: 08.03.08

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PRODUCT APPROVALS:

HADCO	SMK
CUST.	

REFERENCE DRAWINGS:

Pole Wiring - S7149A
Outlet Wiring - S6990-DWG03

CEILING MOUNTED FIXTURE
(CEILING MOUNTED)

SURFACE MOUNTED FIXTURE
ISOLUX PATTERN "D3"

WALL MOUNTED SCENCE
FIXTURE MATERIALS: ALUMINUM
FIXTURE COLORS: BLACK

WALL MOUNTED SCENCE
FIXTURE MATERIALS: ALUMINUM
FIXTURE COLORS: BLACK

SURFACE MOUNTED FIXTURE
ISOLUX PATTERN "D1"

SURFACE MOUNTED FIXTURE
ISOLUX PATTERN "D4"

DECORATIVE WALL SCENCE
ISOLUX PATTERN "C1"

DECORATIVE WALL SCENCE
ISOLUX PATTERN "E"

SURFACE MOUNTED FIXTURE
ISOLUX PATTERN "D2"

SURFACE MOUNTED FIXTURE
ISOLUX PATTERN "D5"

DECORATIVE WALL SCENCE
ISOLUX PATTERN "C2"

HADCO - PSEG
DECORATIVE POST-TOP FIXTURE
(POLE MOUNTED)
FIXTURE MATERIALS: ALUMINUM
FIXTURE COLORS: BLACK

POLE MOUNTED FIXTURE
ISOLUX PATTERN "A"

BEACON VIPER (WALL MOUNTED LIGHT)
VPW2 - WALL MOUNTED, LED
FIXTURE MATERIALS: ALUMINUM
FIXTURE COLORS: BLACK

WALL MOUNTED FIXTURE
ISOLUX PATTERN "B"

HADCO - PSEG
DECORATIVE POST-TOP POLE
FIXTURE MATERIALS: ALUMINUM
FIXTURE COLORS: BLACK

L2A

LAND DESIGN / LLC

66 GRAND AVENUE • 2ND FLOOR
ENGLEWOOD • NJ • 07631
201.227.0300 • 201.227.0001 (Fax)
www.L2Alanddesign.com
New Jersey Certificate of Authorization No. 24GA28130900

Michael E. Dipple, P.E.

08/21/2025

New Jersey Professional Engineer #24GE04081200

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OWNER/APPLICANT:

CLARK BROADWAY ASSOCIATES, LLC
820 MORRIS TURNPIKE
SHORT HILLS, NJ 07078
973.467.5000 (PHONE)

ARCHITECT:

BLACKBIRD GROUP ARCHITECTS LLC
PO BOX 5943
NEWARK, NEW JERSEY 07105
973.954.4650 (PHONE)

SURVEYOR:

KENNON SURVEYING SERVICES, INC.
5 POWDER HORN DRIVE, SUITE 4
WARREN, NJ 07059
732.564.1818 (PHONE)

DATE

REVISION

NO.

PROJECT LOCATION:

MIXED-USE BUILDING
52 WESTFIELD AVENUE
TOWNSHIP OF CLARK
UNION COUNTY, NJ
BLOCK: 105, LOTS: 1.01, 2, 21, 22 & 26.01
TAX MAP: 30

DRAWING TITLE:

LIGHTING DETAILS

SCALE: REFER TO DRAWING

DATE: 08/21/2025

DESIGNED: MED

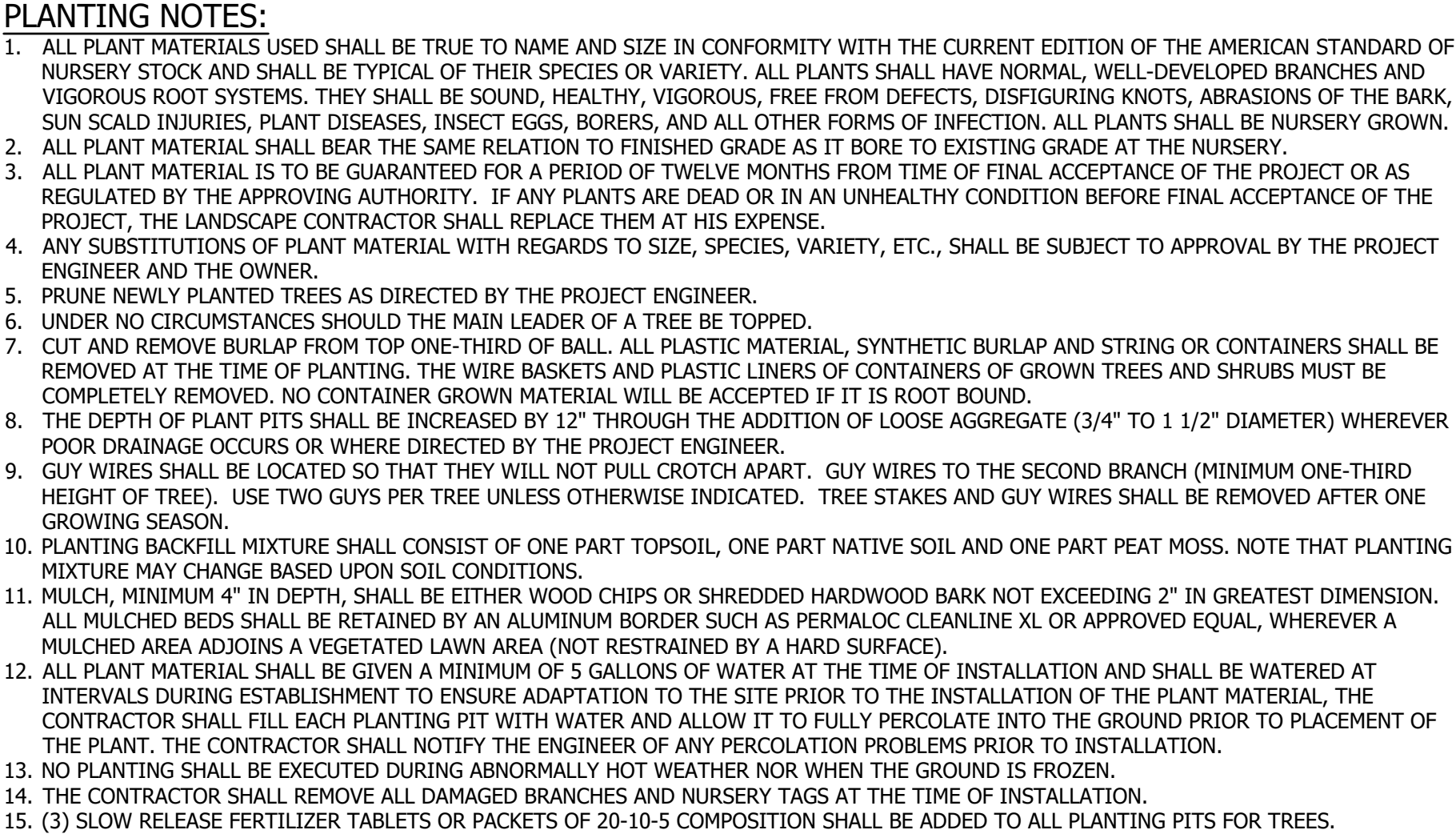
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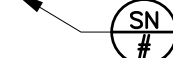
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LANDSCAPING LEGEND

SPECIES & QUANTITY INDICATOR	
EXISTING TREE LINE	
PROPOSED TREE LINE	

GRAPHIC SCALE



(IN FEET)

1" = 20'-0"

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1. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED IN WRITING 48 HOURS IN ADVANCE OF ANY LAND DISTURBING ACTIVITY.
2. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
3. ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 30 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC, WILL IMMEDIATELY REQUIRE TEMPORARY SEEDING. IF THE SEASON PREVENTS THE ESTABLISHMENT OF A TEMPORARY COVER, THE DISTURBED AREAS WILL BE MULCHED WITH STRAW, OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO NJ STATE STANDARDS
4. PERMANENT VEGETATION SHALL BE SEED OR SODED ON ALL EXPOSED AREAS WITHIN TEN DAYS AFTER FINAL GRADING. MULCH WILL BE USED FOR PROTECTION UNTIL SEEDING IS ESTABLISHED
5. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE NJ STATE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY, 7TH EDITION LAST REVISED JANUARY 2014
6. A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OR PRELIMINARY GRADING.
7. IN AREAS WHERE GRADING IS REQUIRED, FOLLOWING INITIAL DISTURBANCE OF THE SOIL, STEEP SLOPES SHALL BE GRADDED TO A SLOPE OF 3:1 OR FLATTER. HIGH GRADING ALL CRITICAL AREAS SUBJECT TO EROSION (I.E.: STEEP SLOPES, ROADWAY EMBANKMENTS) WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR A SUITABLE EQUIVALENT, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO THE NJ STATE STANDARDS.
8. ANY STEEP SLOPES RECEIVING PIPELINE INSTALLATION WILL BE BACKFILLED AND STABILIZED DAILY, AS THE INSTALLATION PROCEEDS (I.E.: SLOPES GREATER THAN 3:1)
9. TRAFFIC CONTROL STANDARDS REQUIRE THE INSTALLATION OF A 50'X30'X6"PAD OF 1 1/2" OR 2" STONE, AT ALL CONSTRUCTION DRIVEWAYS, IMMEDIATELY AFTER INITIAL SITE DISTURBANCE.
10. AT THE TIME WHEN THE SITE PREPARATION FOR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A MANNER THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES.
11. IN THAT NJS A 4:24-39 ET SEQ., REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE PROVISIONS OF THE CERTIFIED PLAN FOR SOIL EROSION AND SEDIMENT CONTROL HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES, ALL SITE WORK FOR SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS, WILL HAVE TO BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
12. CONDUIT OUTLET PROTECTION MUST BE INSTALLED AT ALL REQUIRED OUTFALLS PRIOR TO THE DRAINAGE SYSTEM BECOMING OPERATIONAL.
13. IN ORDER FOR THE DISTRICT TO CERTIFY SOIL EROSION AND SEDIMENT CONTROL PLAN WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RE-CERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT NJ STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
14. THE SOMERSET-UNION SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
15. MULCHING TO THE NJ STANDARDS IS REQUIRED FOR OBTAINING A CONDITIONAL REPORT OF COMPLIANCE. CONDITIONALS ARE ONLY ISSUED WHEN THE SEASON PROHIBITS SEEDING.
16. CONTRACTOR IS RESPONSIBLE FOR KEEPING ALL ADJACENT ROADS CLEAN DURING LIFE OF CONSTRUCTION PROJECT.
17. THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION TO THE REQUEST OF THE SOMERSET-UNION SOIL CONSERVATION DISTRICT.
18. HYDRO SEEDING IS TWO STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC. ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE COMBINATION, GOOD SEED TO SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF SEEDING OPERATION, HYDRO-MULCH SHOULD BE APPLIED AT A RATE OF 1500 LBS. PER ACRE IN SECOND STEP. THE USE OF HYDRO-MULCH, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE NJ STANDARDS.

1. INSTALL PERIMETER SILT FENCE, CONSTRUCTION FENCE, INLET FILTERS, STABILIZED CONSTRUCTION ENTRANCE AND ALL OTHER SOIL EROSION & SEDIMENT CONTROL MEASURES. (1 WEEK)
2. DEMOLISH EXISTING SITE FEATURES AND OTHER STRUCTURES. (1 MONTH)
3. CLEAR AND ROUGH GRADE THE SITE FOR BUILDING, UNDERGROUND BASINS, AND OTHER STRUCTURES REQUIRING EXCAVATION. (2 WEEKS)
4. INSTALL AND MAINTAIN TEMPORARY SEEDING & MULCHING IN ALL DISTURBED AREAS UNTIL PERMANENT VEGETATION IS COMPLETED. (2 DAYS)
5. EXCAVATE FOR BUILDING FOUNDATION AND STORMWATER/UTILITY STRUCTURES. (1 MONTH)
6. INSTALL STORMWATER BASIN/UG UTILITIES. (1 MONTH)
7. COMMENCE BUILDING CONSTRUCTION. (9 MONTHS)
8. INSTALL CURBING AND PERFORM FINAL GRADING OF THE SITE. (1 WEEK)
9. INSTALL FINISHED PAVEMENT COURSES AND CONCRETE PAVEMENT. (1 WEEKS)
10. INSTALL LANDSCAPING AND PERMANENTLY STABILIZE ALL DISTURBED AREAS. (1 WEEK)
11. REMOVE ALL TEMPORARY SEDIMENT AND EROSION CONTROL, STABILIZATION MEASURES. (1 WEEK)

(IN FEET)

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1. **STABILIZATION SPECIFICATIONS**

A. **TEMPORARY SEEDING AND MULCHING**

- LIME: 90 LBS./1,000 SF GROUND LIMESTONE
- FERTILIZER: 11 LBS./1,000 SF AT 10-20-10 OR EQUIVALENT WORKED INTO THE SOIL AT A MINIMUM OF FOUR (4") INCHES.
- SEED: PERENNIAL RYEGRASS 40 LBS./ACRE (11L./1,000 SF) OR OTHER APPROVED SEEDS. PLANT BETWEEN MARCH 1ST AND MAY 15TH OR BETWEEN AUGUST 15TH AND OCTOBER 1ST.
- MULCH: SALT HAY OR SMALL GRAINS STRAW AT A RATE OF 70 LBS. TO 90 LBS./1,000 SF TO BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS SUCH AS PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDER.

B. **PERMANENT SEEDING AND MULCHING**

- TOPSOIL: UNIFORM APPLICATION TO A DEPTH OF 5" (UNSETTLED)
- LIME: 90 LBS./1,000 SF GROUND LIMESTONE
- FERTILIZER: 11 LBS./1,000 SF AT 10-20-10 OR EQUIVALENT WORKED INTO A SOIL A MINIMUM OF 4"
- SEED: TURF TYPE TALL FESCUE (BLEND OF THREE CULTIVARS) 150 LBS./ACRE (3.5 LBS./1,000 SF) OR OTHER APPROVED SEEDS. PLANT BETWEEN MARCH 1ST AND NOVEMBER 15TH.
- MULCH: SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 LBS. TO 90 LBS./1,000 SF TO BE APPLIED AS PER NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS SUCH AS PEG & TWINE, MULCH NETTING OR LIQUID MULCH BINDER.

C. **STABILIZATION WITH MULCH ONLY:**

APPLICABLE IN AREAS SUBJECT TO EROSION WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION-RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.

2. **SITE PREPARATION**

A. SHALL BE NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR APPLYING AND ANCHORING MULCH. ALL GRADING SHALL BE DONE IN ACCORDANCE WITH THE NEW JERSEY STANDARDS FOR LAND GRADING.

B. EMPLOY NEEDED EROSION CONTROL PRACTICES SUCH AS DIVERSION GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASIN AND WATERWAYS PER THE NEW JERSEY STANDARDS.

3. **PROTECTIVE MATERIALS**

A. UNROLL SMALL-GRAIN STRAW OR SALT HAY AT 2.0 TONS TO 2.5 TONS PER ACRE AND SPREAD UNIFORMLY AT 90 LBS. TO 115 LBS./1,000 SF AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDER, OR A NETTING TIE-DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT.

B. ASPHALT EMULSION IS RECOMMENDED AT THE RATE OF 600 GAL. TO 1,200 GAL./ACRE. THIS IS SUITABLE FOR A LIMITED PERIOD OF TIME WHERE TRAVEL BY PEOPLE, ANIMALS OR MACHINES IS NOT A PROBLEM.

C. SYNTHETIC OR ORGANIC SOIL STABILIZERS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.

D. WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 LBS./ACRE OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS MAY BE APPLIED BY A HYDROSEEDER.

E. MULCH NETTING, SUCH AS PAPER JUTE, EXCELSIOR, COTTON OR PLASTIC MAY BE USED.

F. WOOD CHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2" MAY BE USED. WOOD CHIPS SHALL NOT BE USED ON AREAS WHERE FLOWING WATER CAN WASH THEM INTO AN INLET AND CLOG IT.

4. **MULCH ANCHORING**

SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS SHALL BE DONE BY ONE OF THE FOLLOWING METHODS DEPENDING UPON THE SIZE OF THE AREA AND SLOPE STEEPNESS:

C. PEG AND TWINE: DRIVE 8" TO 10" INCH WOODEN PEGS TO WITHIN 2" TO 3" INCHES OF THE SOIL SURFACE EVERY 4' FEET IN ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISSCROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.

D. MULCH NETTING: STAPLE PAPER, COTTON OR PLASTIC NETTING OVER MULCH. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED. NETTING IS USUALLY AVAILABLE IN ROLLS 4' FEET WIDE AND UP TO 300' FEET LONG.

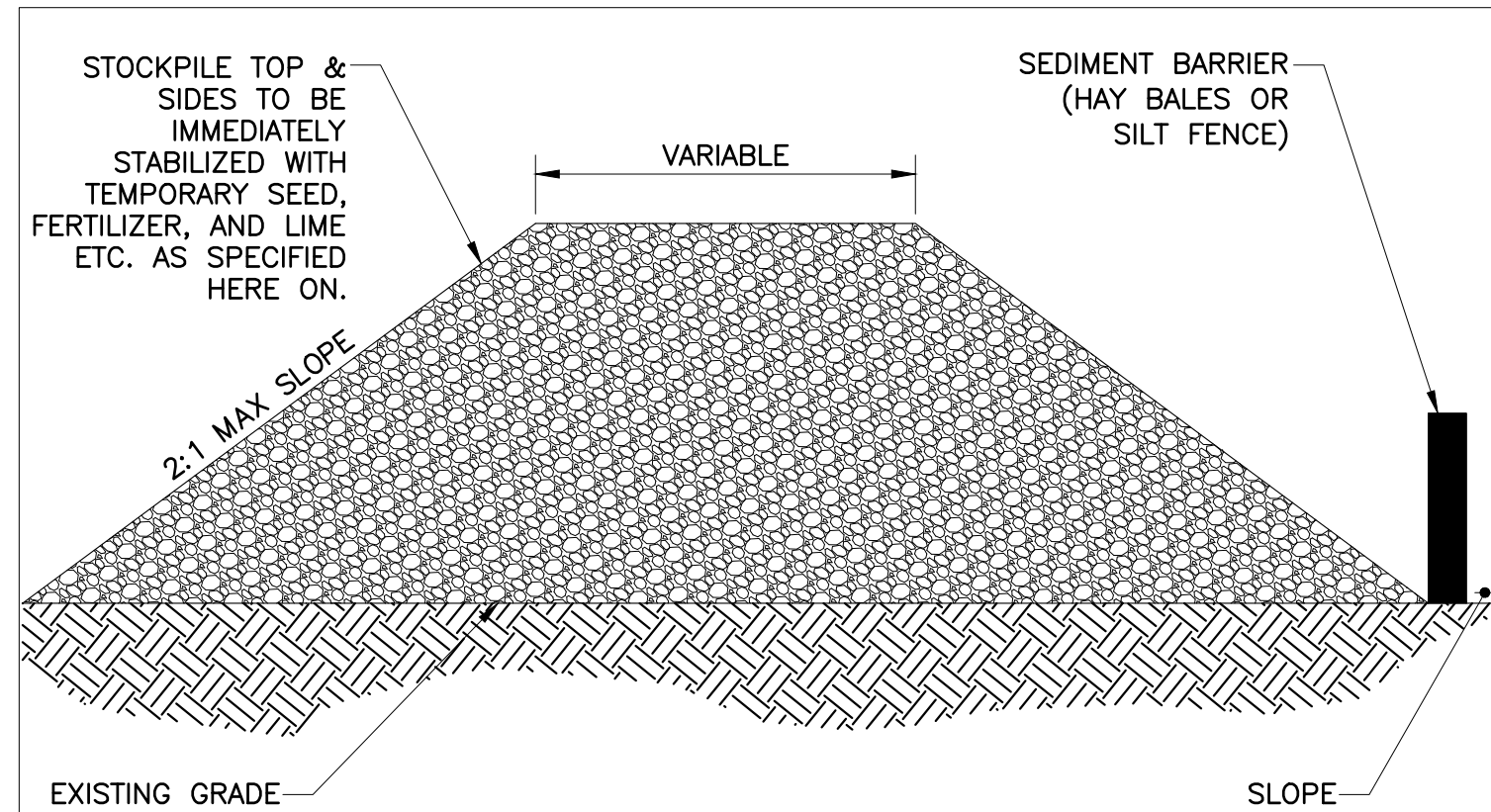
E. CRIMPER MULCH ANCHORING COULTER TOOL: A TRACTOR DRAWN IMPLEMENT ESPECIALLY DESIGNED TO PUNCH AND ANCHOR MULCH INTO THE SOIL SURFACE. THIS PRACTICE AFFORDS MAXIMUM EROSION CONTROL BUT ITS USE IS LIMITED TO THOSE SLOPES UPON WHICH THE TRACTOR CAN OPERATE SAFELY. SOIL PENETRATION SHOULD BE ABOUT 3" TO 4" INCHES. ON SLOPING LAND, THE OPERATION SHOULD BE ON THE CONTOUR.

F. LIQUID-MULCH BINDERS:

- APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND CATCHES THE MULCH, IN VALLEYS AND AT CRESTS OF BANKS. REMAINDER OF AREA SHOULD BE UNIFORM IN APPEARANCE.
- USE OF ONE OF THE FOLLOWING:
 - ORGANIC AND VEGETABLE BASED BINDERS: NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS THAT MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANE NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS VEGETABLE BASED GELS SHALL BE APPLIED AT RATES AND UNDER WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER.
 - SYNTHETIC BINDERS: HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. IT SHALL BE APPLIED AT RATES AND WEATHER CONDITIONS RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL GERMINATION OF GRASS.

5. ALL TOPSOIL STOCKPILES SHALL BE LOCATED AT LEAST 5 FEET AWAY FROM BUILDINGS.

Diagram illustrating a slope stabilization method. The slope is shown with a 2:1 MAX SLOPE. The top of the slope is labeled "STOCKPILE TOP & SIDES TO BE IMMEDIATELY STABILIZED WITH TEMPORARY SEED, FERTILIZER, AND LIME ETC. AS SPECIFIED HERE ON." A "SEDIMENT BARRIER (HAY BALES OR SILT FENCE)" is shown at the bottom right. A "VARIABLE" distance is marked between the top of the slope and the sediment barrier. The "EXISTING GRADE" is shown at the bottom left, and the "SLOPE" is indicated at the bottom right.

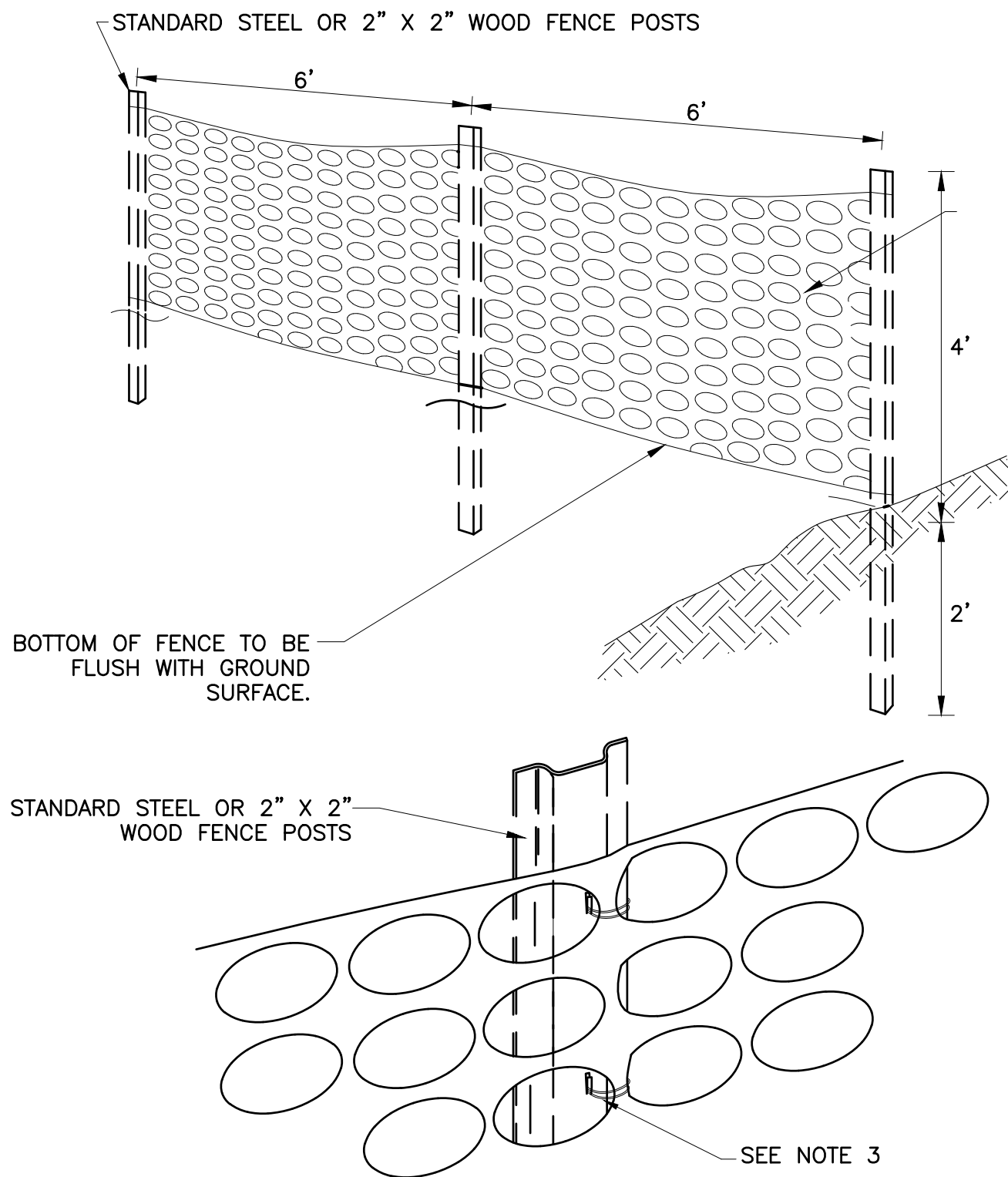


The drawing consists of two parts: a perspective view at the top and an elevation section at the bottom.

PERSPECTIVE VIEW
N.T.S.
DRAWSTRING RUNNING THROUGH FABRIC ALONG TOP OF FENCE

ELEVATION SECTION
FABRIC SECURED TO POST WITH METAL FASTENERS AND REINFORCEMENT BETWEEN FASTENER AND FABRIC
WOOD OR METAL FENCE POSTS SPACED 8'-0" O.C.
AREA OF DISTURBANCE
FLOW
SILT ACCUMULATION
DIG 6" WIDE & 6" DEEP TRENCH, BURY BOTTOM 1'-0" OF FILTER FABRIC, TAMP IN-PLACE
EXISTING UNDISTURBED GROUND
24" MIN.
24" MIN.
6"
6"

- N. I. S.
1. PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLANS.
 2. THE SLOPE OF THE LAND FOR AT LEAST THIRTY (30'-0") FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED FIVE (5%) PERCENT.
 3. SILT FENCE SHALL BE INSTALLED SO WATER CANNOT BYPASS AROUND THE SIDES OF THE FENCE.
 4. INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
 5. SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE SOIL CONSERVATION DISTRICT.
 6. FENCE POSTS SHALL BE SPACES 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1 1/2 INCHES.
 7. A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH MAY BE UTILIZED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC WHERE SPACE FOR OTHER PRACTICES IS LIMITED AND HEAVY SEDIMENT LOADING IS EXPECTED.
 8. A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE THE GROUND. THE FABRIC MUST BE SECURELY FASTENED TO THE POSTS USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND A HIGH STRENGTH REINFORCEMENT MATERIAL (NYLON WEBBING, GROMMETS, WASHERS, ETC.) PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR ADDED STRENGTH.



ELEVATION

5' CMP SECTIONS

INFLOW

72" CMP

60" CMP

2" CLEANOUT DEPTH

OUTFLOW

1/2" WIRE MESH

GEOTEXTILE

1/2" STEEL PLATE WELDED TO PIPES WATER TIGHT

NOTE:
PERFORATE 60" CMP WITH 1" HOLES AT 6" ON CENTER.

THE TOP OF THE CLEANOUT SHOULD EXTEND AT LEAST 18" ABOVE THE TOP OF THE MANHOLE OR ABOVE STREET GRADE.

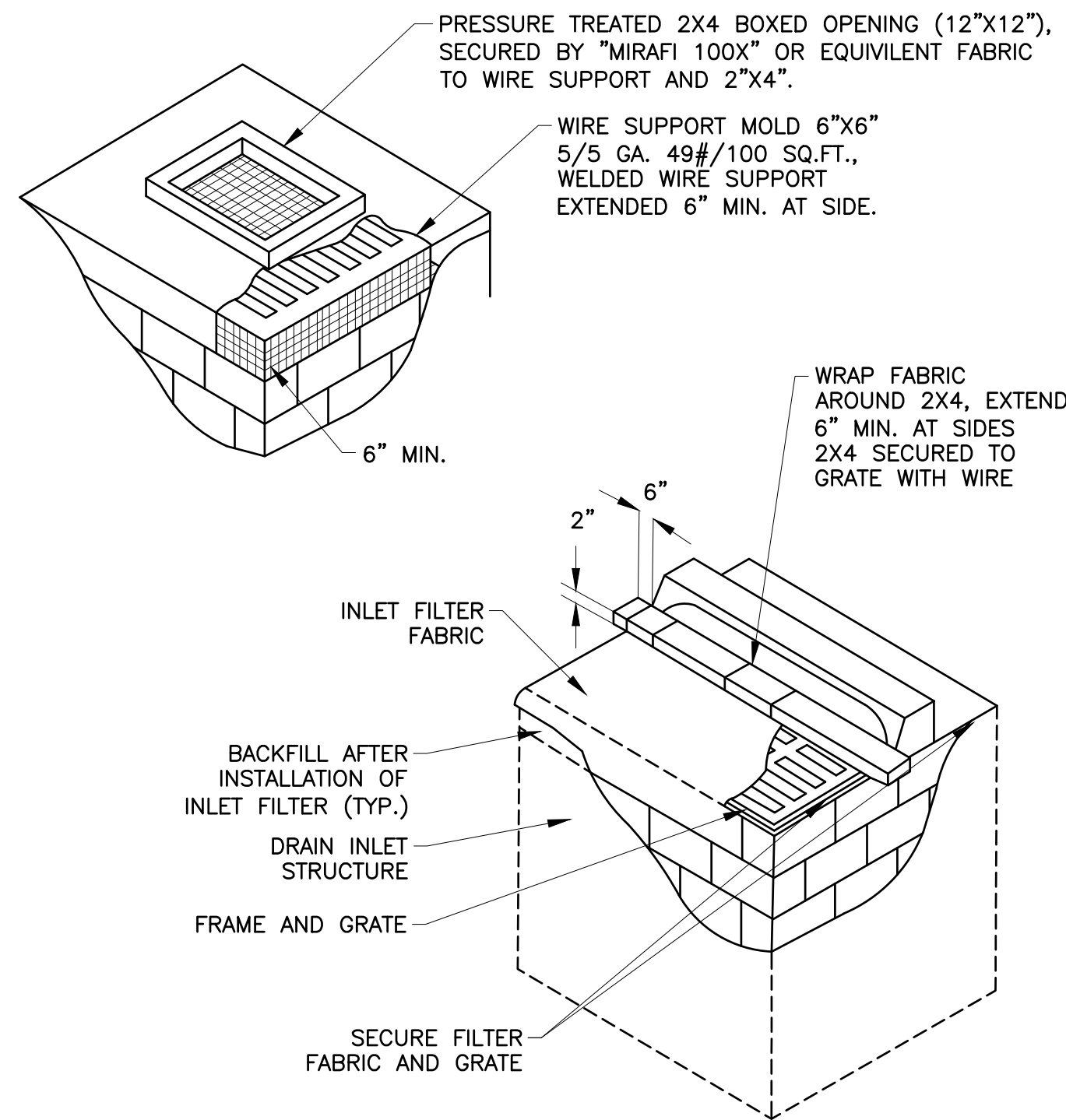
PLAN VIEW

EYE BOLTS

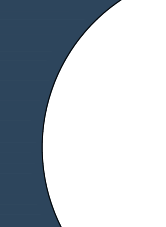
INFLOW

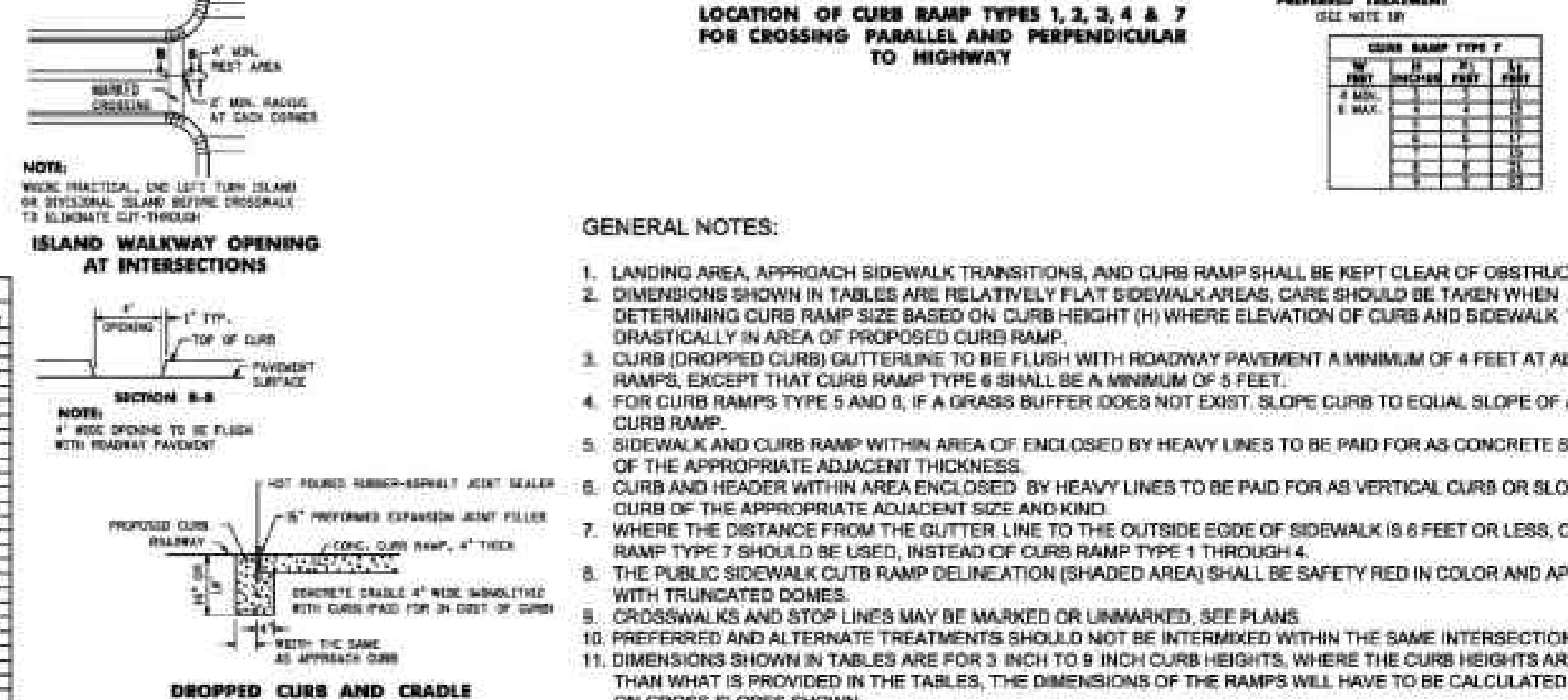
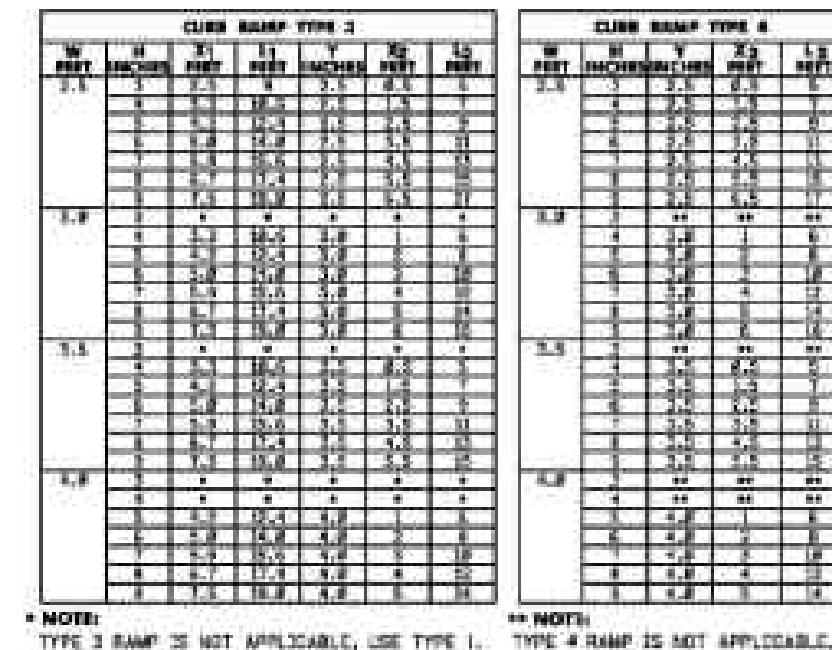
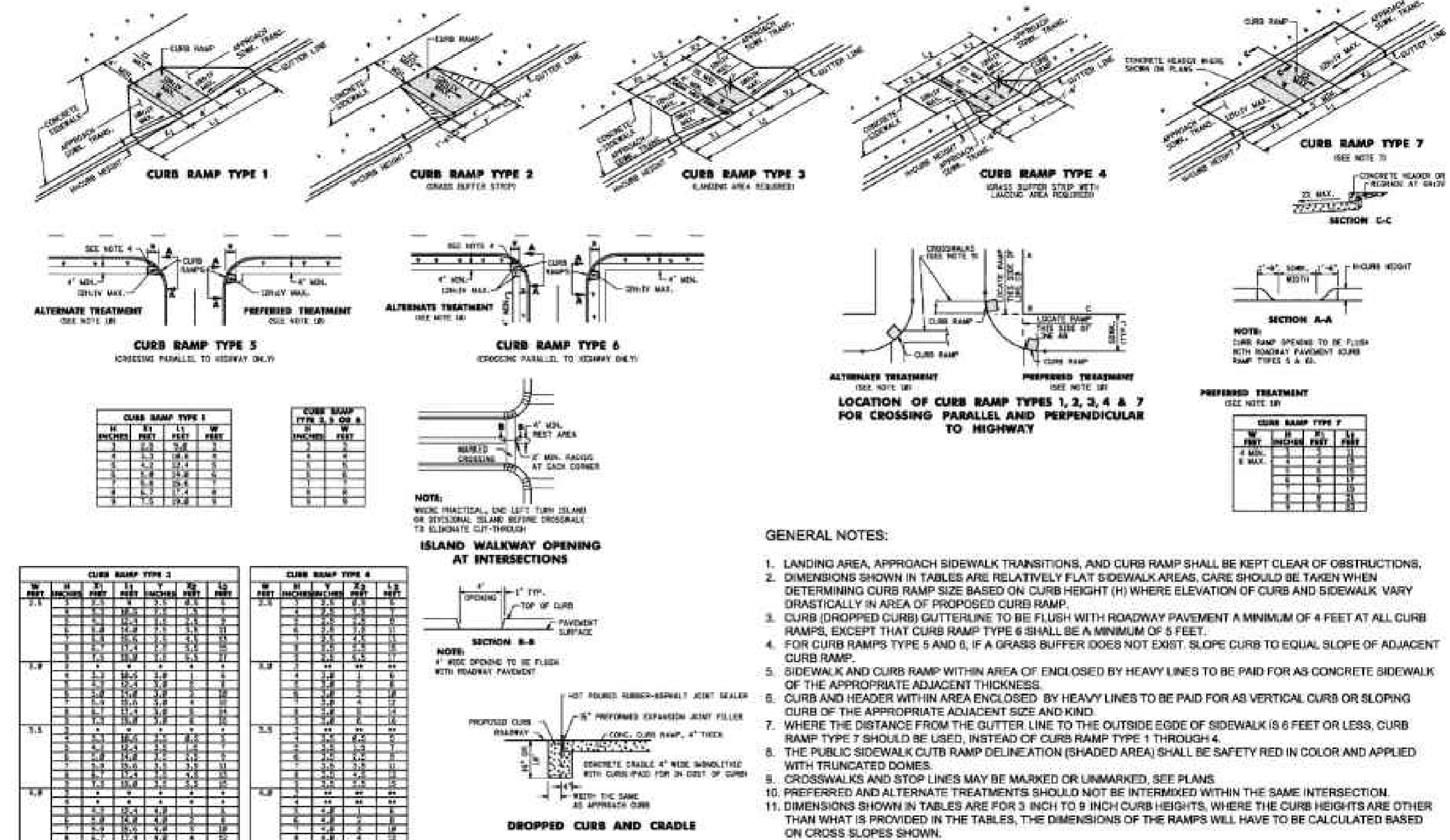
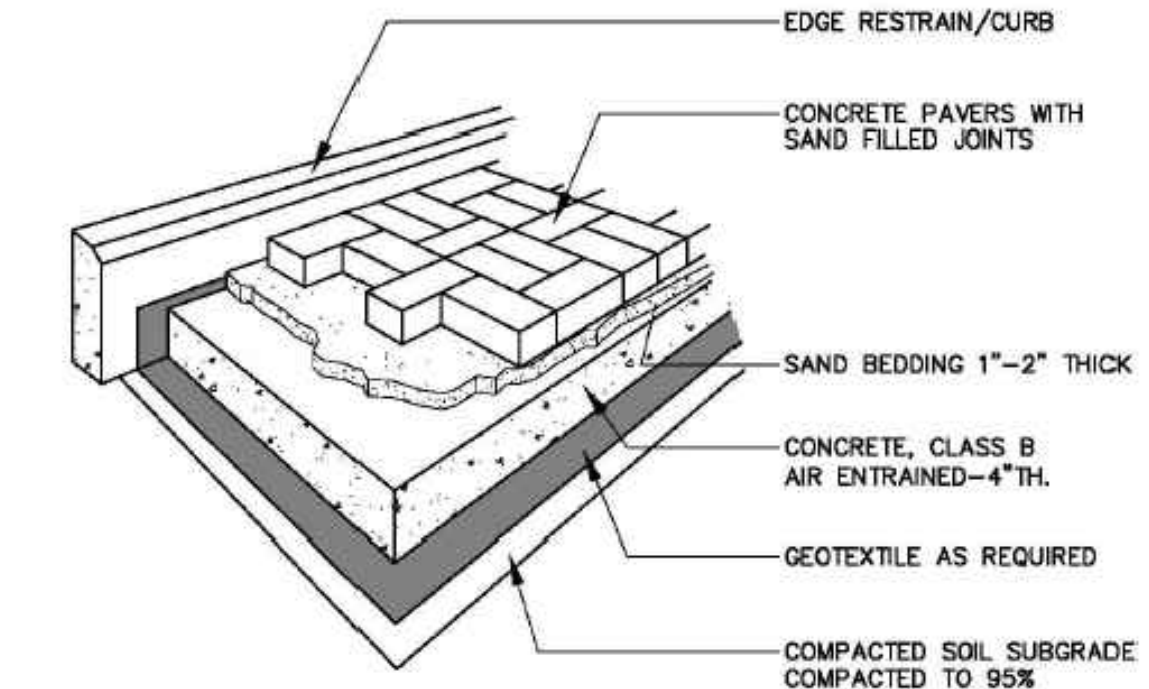
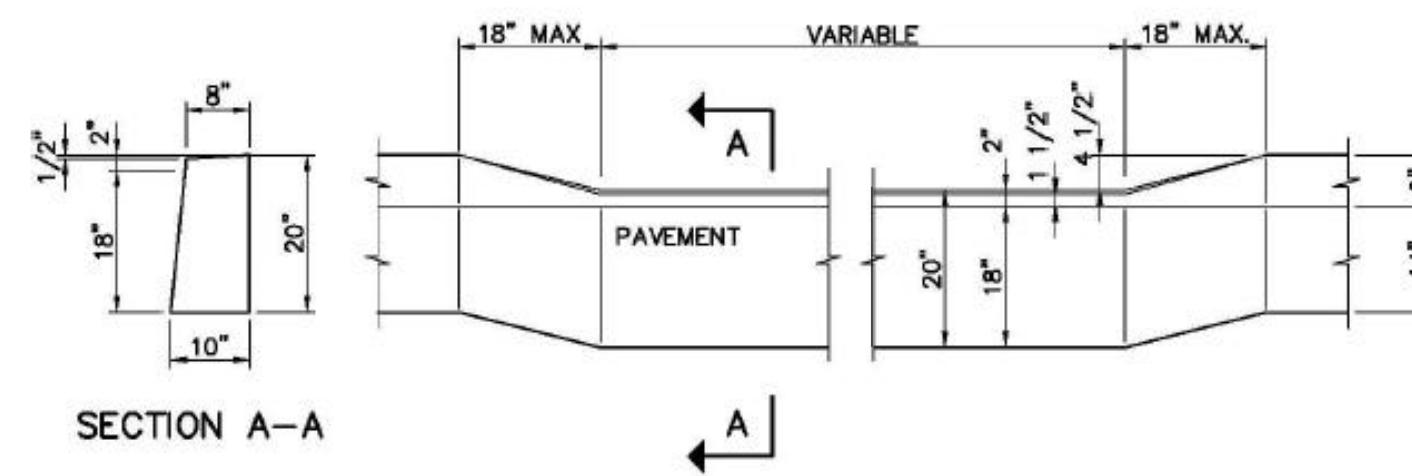
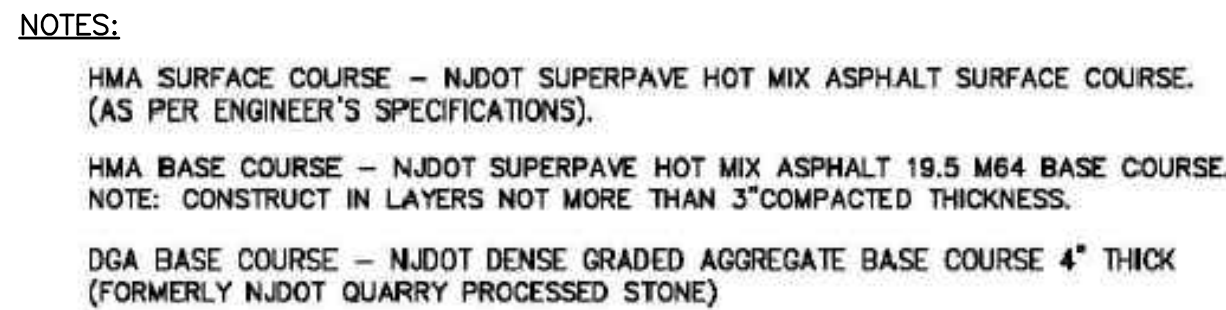
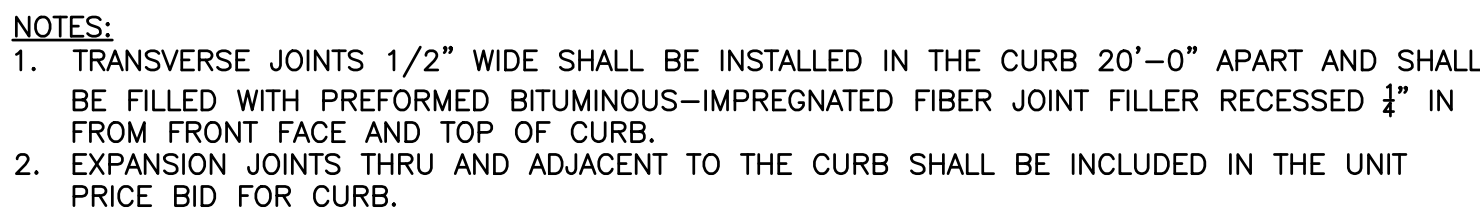
PLACE CLEAN STOP AT END OF INSTALLATION

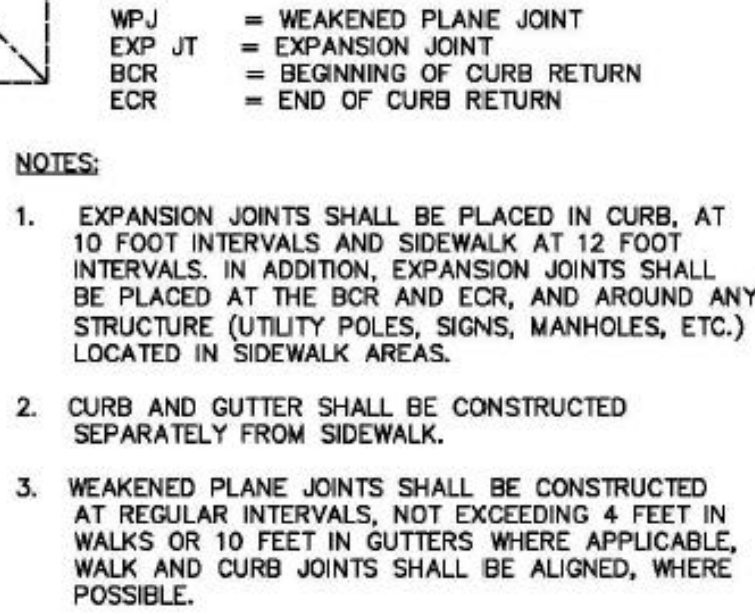
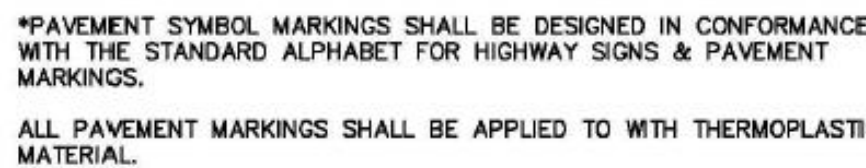
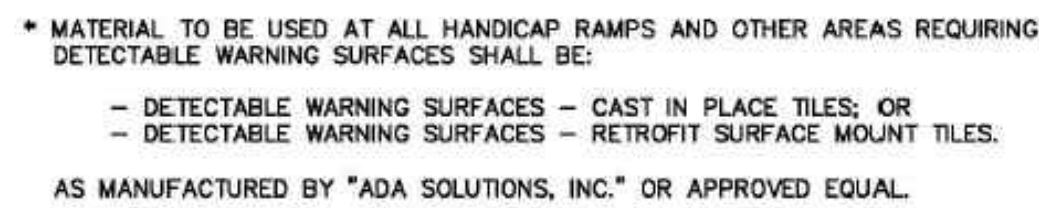
- NOTES:
1. PIT DIMENSIONS ARE VARIABLE WITH THE MINIMUM DIAMETER BEING 2 TIMES THE STANDPIPE DIAMETER.
 2. THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12" TO 24" DIAMETER CORRUGATED OR PVC PIPE. THEN WRAPPING WITH ½" HARDWARE CLOTH AND GEOTEXTILE FABRIC. THE PERFORATIONS SHALL BE ½" x 6" SLOTS OR 1" DIAMETER HOLES.
 3. A LAYER OF FILTER MATERIAL, CONSISTING OF CLEAN GRAVEL OR ASTM C33 STONE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 12". AFTER INSTALLING THE STANDPIPE, THE PIT SURROUNDING THE STANDPIPE SHOULD THEN BE BACKFILLED WITH THE SAME FILTER MATERIAL.
 4. THE STANDPIPE SHOULD EXTEND 12" TO 18" ABOVE THE LIP OF THE PIT OR THE RISER CREST ELEVATION (BASIN DEWATERING ONLY) AND THE FILTER MATERIAL SHOULD EXTEND 3" MINIMUM ABOVE THE ANTICIPATED STANDING WATER ELEVATION.



DEWATERING

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<u>ARCHITECT:</u> BLACKBIRD GROUP ARCHITECTS LLC PO BOX 5943 NEWARK, NEW JERSEY 07105 973.954.4650 (PHONE)	
<u>SURVEYOR:</u> KENNON SURVEYING SERVICES, INC. 5 POWDER HORN DRIVE, SUITE 4 WARREN, NJ 07059 732.564.1818 (PHONE)	
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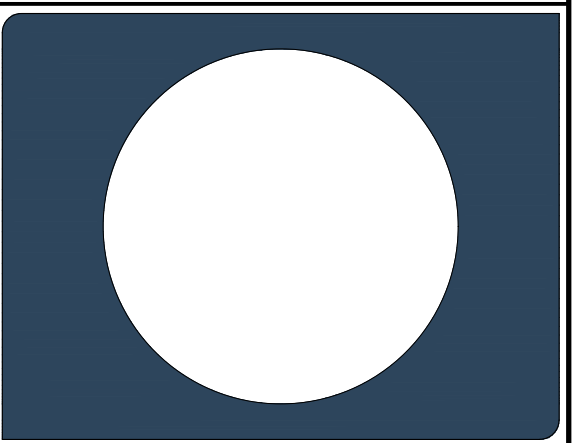
- | | |
|---|---|
|  | ASPHALT CONCRETE TOP COURSE MIX 1-5 |
|  | BITUMINOUS STABILIZED BASE COURSE MIX 1-2 |
|  | DENSE GRADED AGGREGATE BASE COURSE |
|  | COMPACTED SUBGRADE |

NOTES:

1. THE CONTRACTOR SHALL INSTALL ALL PAVEMENTS AS SPECIFIED IN THE LOCATIONS AND TO THE GRADES AS SHOWN ON THE DRAWINGS AND/OR AS DIRECTED BY THE OWNER'S FIELD REPRESENTATIVE. MATERIALS, METHODS OF CONSTRUCTION AND TYPE AND THICKNESS OF PAVEMENT COURSES SHALL BE AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
2. PRIOR TO THE START OF PAVING OPERATIONS, THE SUBGRADE SURFACE SHALL BE PREPARED BY FILLING IN WHEEL RUTS, EROSIONS, AND ALL OTHER GROUND DISTURBANCES REGARDLESS OF CAUSE. THE GROUND SURFACE SHALL BE FINE GRADED SO THAT AFTER COMPACTION THE SUBGRADE SURFACE SHALL BE AT THE PROPER ELEVATION (+/- 0.05') TO ACCOMMODATE PAVEMENT STRUCTURE.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING AND REPLACING ALL SOFT, YIELDING OR UNSUITABLE SOIL MATERIAL AND REPLACING THE UNSUITABLE MATERIAL AS SPECIFIED IN THE SOILS REPORT. ALL EXCAVATED OR FILLED AREAS SHALL BE COMPACTED TO 95% OF MODIFIED PROCTOR DENSITY PER ASTM TEST D-1557. MOISTURE CONTENT AT TIME OF PLACEMENT SHALL NOT EXCEED 2% ABOVE NOR 3% BELOW OPTIMUM.
4. CONTRACTOR SHALL REFER TO THE SOILS REPORT FOR GEOTECHNICAL RECOMMENDATIONS.
5. THE CONTRACTOR SHALL FURNISH CURBED PAVEMENT TO THE LINES AND GRADES SHOWN ON THE DRAWINGS OR AS SPECIFIED HEREIN.
6. ALL ASPHALT CONSTRUCTION PAVING JOINTS SHALL BE TACK COATED JUST PRIOR TO THE CONTINUATION OF PAVING OPERATIONS.
7. LIMITS OF FULL DEPTH PAVEMENT, MILLING, AND LEVELING ARE APPROXIMATE.

NOTES:

1. THE CONTRACTOR SHALL ESTABLISH MARKING LINE POINTS FOR STRIPING AT TWENTY-FIVE (25) FOOT INTERVALS THROUGHOUT THE LENGTH OF THE PAVEMENT.
2. THE CONTRACTOR SHALL APPLY WHITE, THERMOPLASTIC PAINT, UTILIZING ROLLERS AND/OR BRUSHED FOR MARKING GORE AREAS, TURN ARROWS, LETTERS, STOP BARS AND SHORT TEMPORARY DETOURS.
3. NORMAL SPREADING RATES FOR PAVEMENT MARKING PAINTS SHALL BE FROM 100 TO 115 SQUARE FEET PER GALLON SO AS TO OBTAIN A WET FILM THICKNESS OF +/- 15 MILS.




08/21/2025

Michael E. Dipple, P.E.	Date
New Jersey Professional Engineer #24GE04081200	

OWNER/APPLICANT:
CLARK BROADWAY ASSOCIATES, LLC
820 MORRIS TURNPIKE
SHORT HILLS, NJ 07078
973.467.5000 (PHONE)

ARCHITECT:
BLACKBIRD GROUP ARCHITECTS LLC
PO BOX 5943
NEWARK, NEW JERSEY 07105
973.954.4650 (PHONE)

SURVEYOR:
KENNON SURVEYING SERVICES, INC.
5 POWDER HORN DRIVE, SUITE 4
WARREN, NJ 07059
732.564.1818 (PHONE)

[illegible]

PROJECT LOCATION:

MIXED-USE BUILDING

52 WESTFIELD AVENUE
TOWNSHIP OF CLARK
UNION COUNTY, NJ

BLOCK: 105, LOTS: 1.01, 2, 21, 22 & 26.01
TAX MAP: 30

DRAWING TITLE:

DETAILS - 2

SCALE:	REFER TO DRAWING
DATE	08/21/2025
DESIGNED:	MED
APPROVED:	TEC
LZA PROJ. No.:	2501.136
DRAWING No.:	

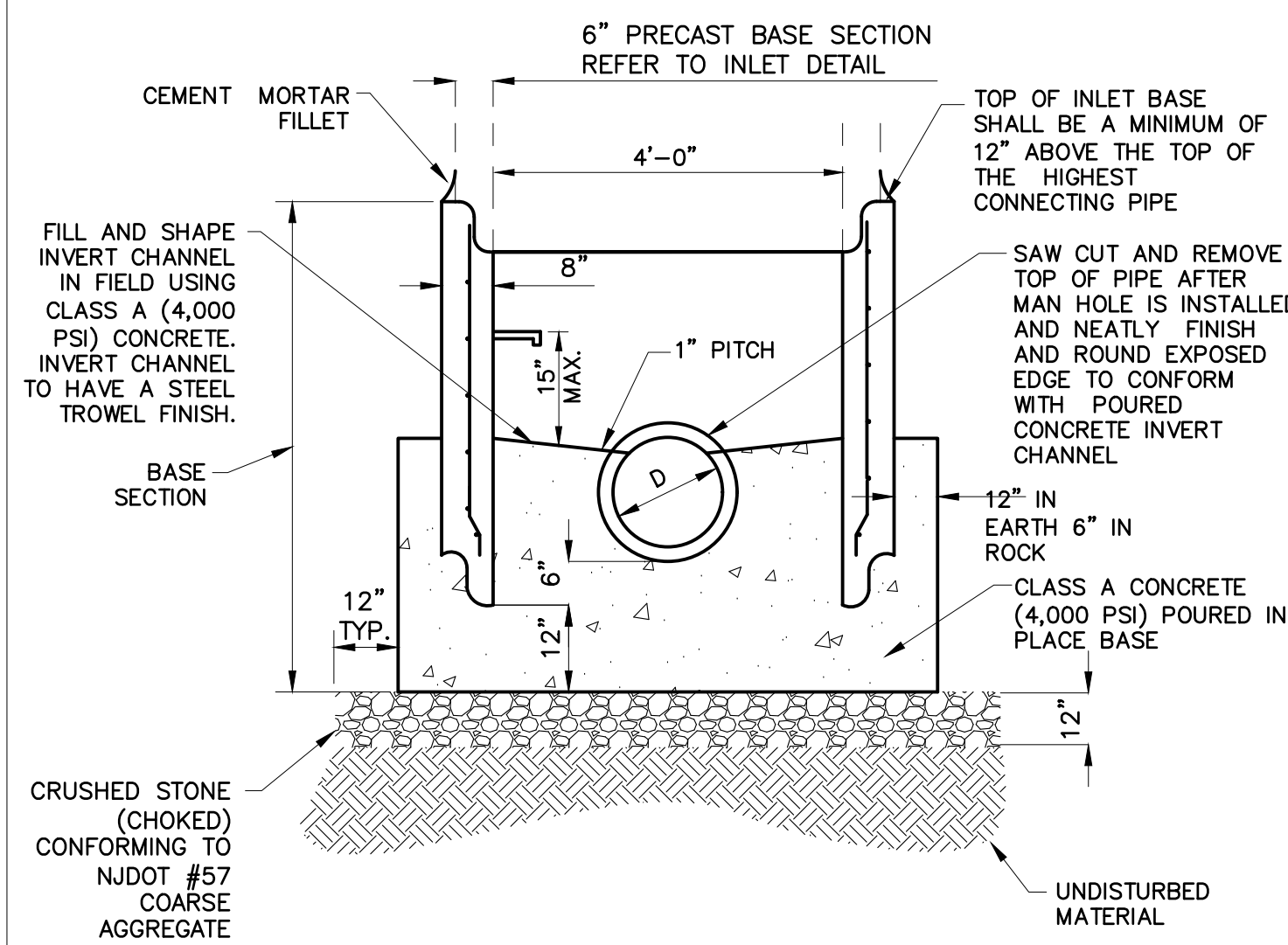
C-11

1. MATCH THE CROWN OF LATERALS CONNECTED TO THE MANHOLE WITH THE CROWN OF THE OUTLET PIPE.
2. BENCH TO HAVE 2.0% SLOPE (TYP.) WITH NON SKID SURFACE.
3. THE INVERT OF THE 90 DEGREE BEND AT THE BOTTOM OF THE DROP CONNECTION OR SEWER MAINS SHALL BE EQUAL IN SIZE TO THE OUTLET PIPE MUST HAVE AN INVERT 0.1 FEET ABOVE THE INVERT OF THE OUTLET PIPE.
4. ALL CONNECTIONS TO EXISTING MANHOLE TO BE MADE BY CORING MACHINE.
5. ALL CONNECTIONS TO BE MADE WITH CONICAL TYPE FLEXIBLE SEAL SUCH AS KOR-N-SEAL OR EQUAL.
6. REPAIRS TO DAMAGED BENCH SHALL BE MADE WITH SIKKA CONCRETE BONDING AGENT AND NON SHRINK GROUT APPLIED IN ACCORDANCE WITH THE MANUFACTURERS SPECIFICATIONS.
7. ALL CHANNELS FOR CONNECTIONS TO BE HALF PIPE OR EPOXY COATED.

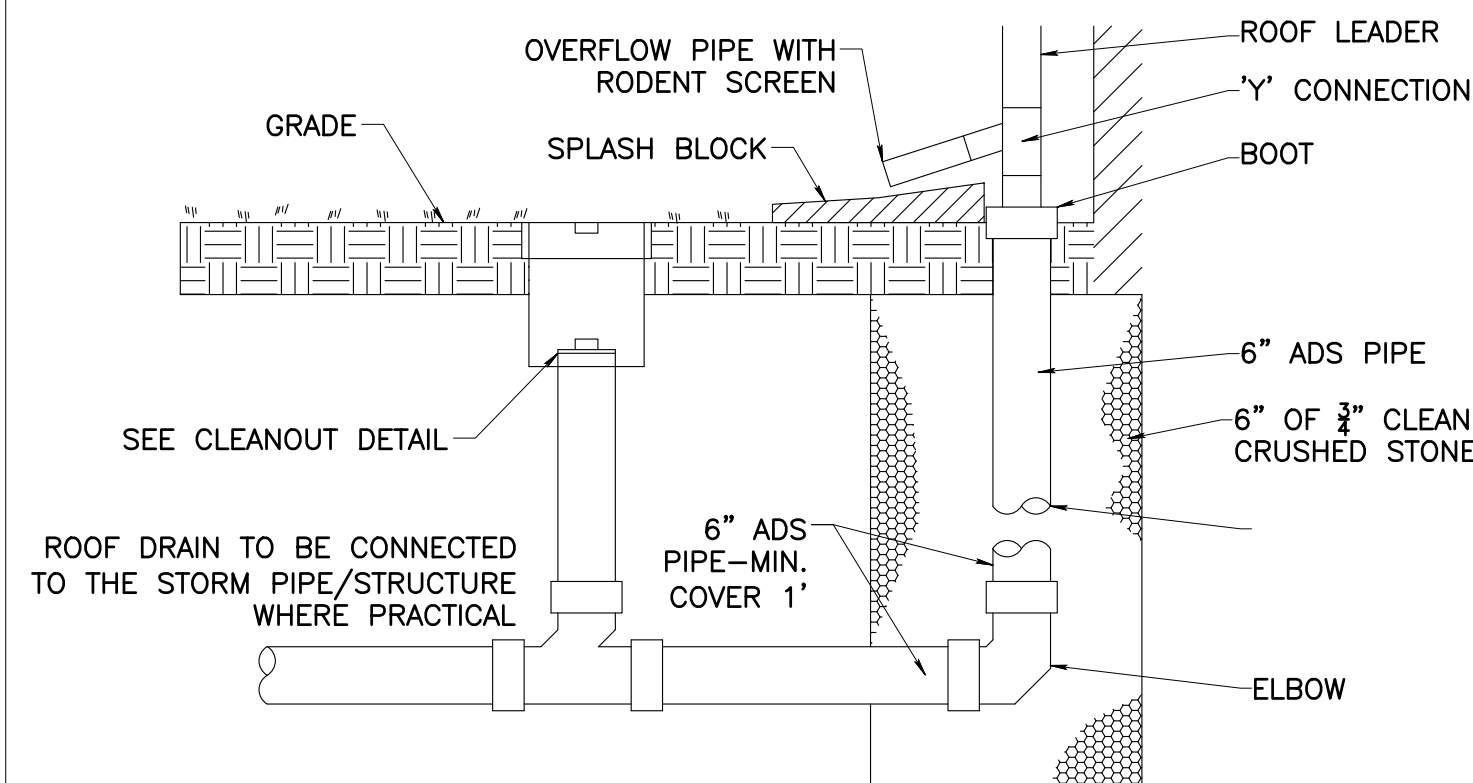
PIPE CLEANOUT

1. FRAMES AND GRATES SHALL BE OF CAST IRON, CONFORMING TO ASTM A48, CLASS 30 AND SUITABLE FOR H=20 LOADING CAPACITY. MANHOLE COVERS IN REMOTE LOCATIONS SHALL HAVE A LOCKING DEVICE.
2. REFERENCE NJDOT DETAILS & SPECIFICATIONS UNLESS OTHERWISE NOTED.
3. REINFORCED PRECAST CONCRETE TOP SLAB AND REINFORCED PRECAST CONCRETE STRUCTURE SHALL BE DESIGNED TO ACCOMMODATE AN H=20 DESIGN LOAD.

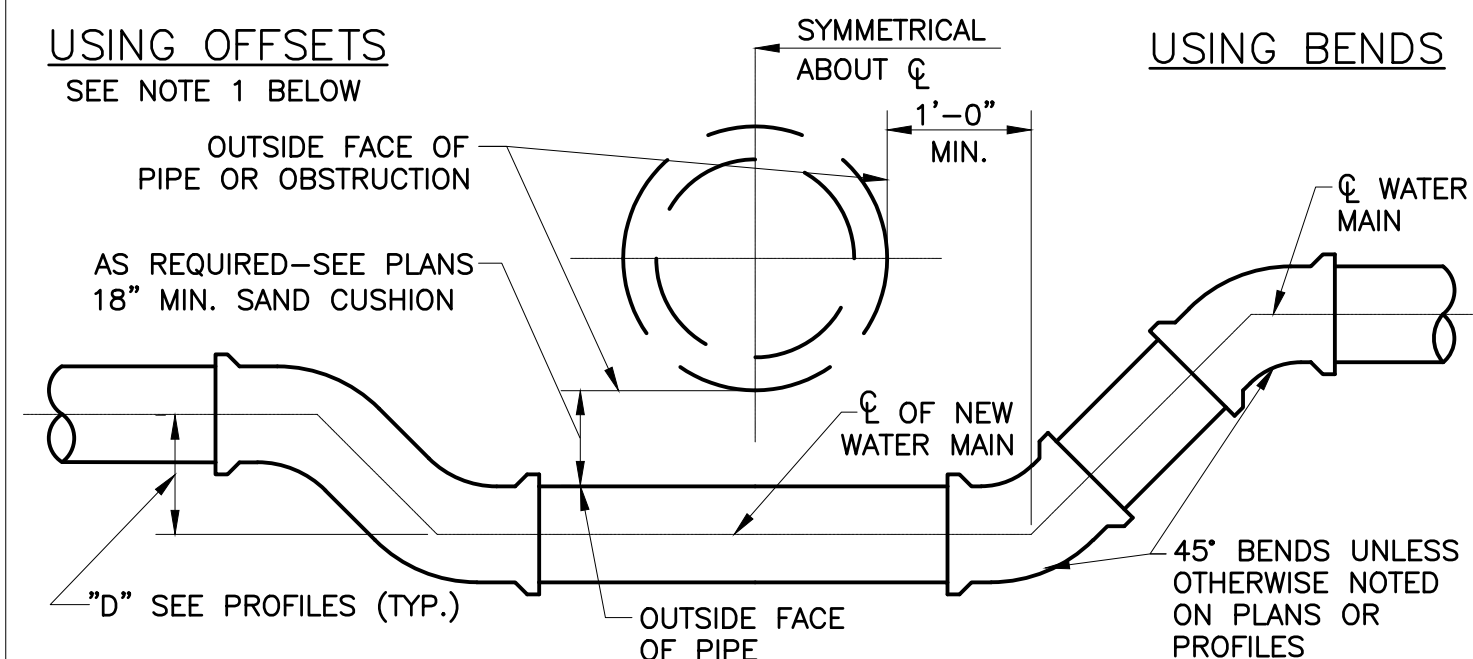
CONVERSION OF INLET TO MANHOLE



WATER LINE CROSSING BELOW OBSTRUCTION

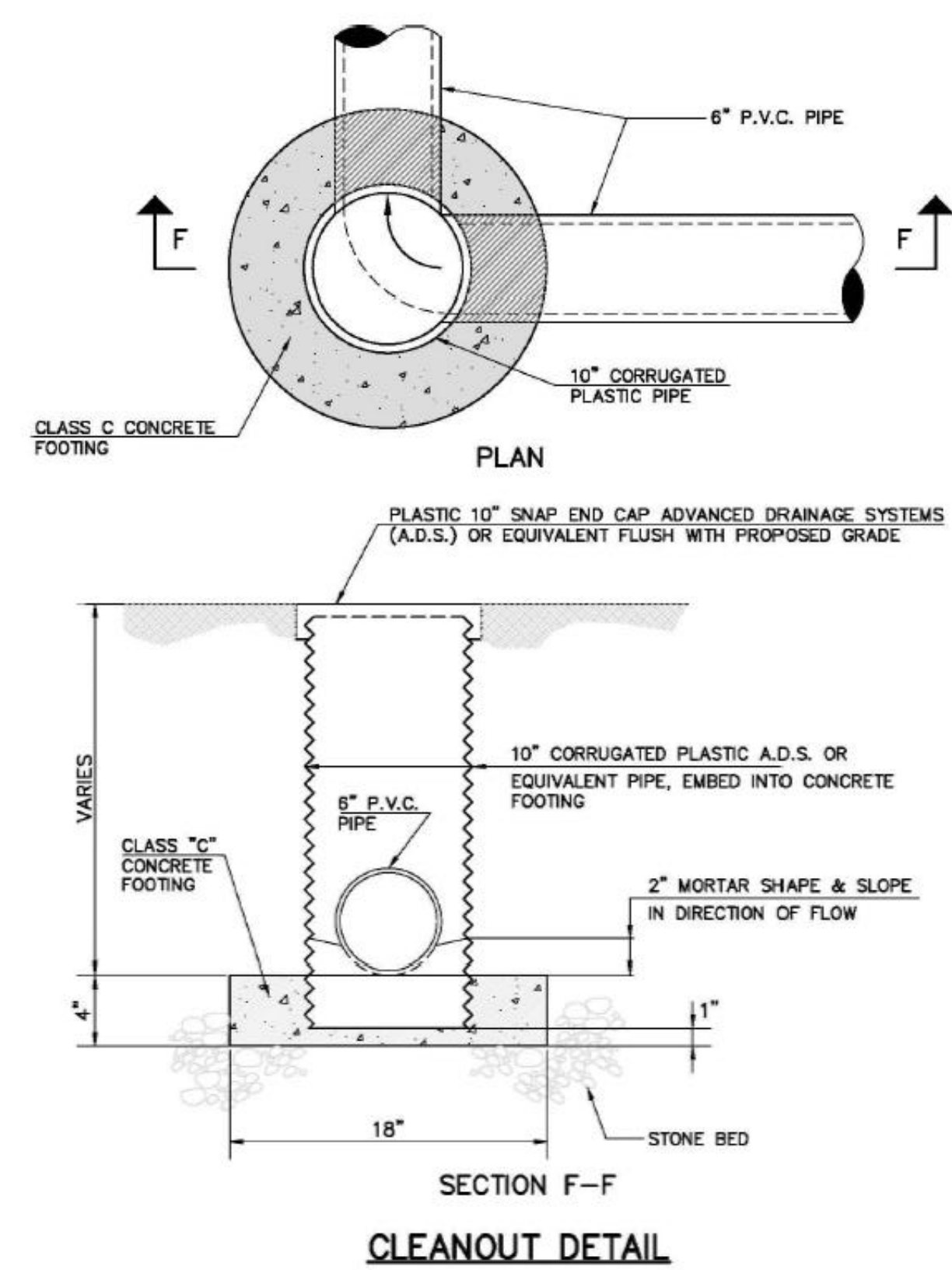


CURB INLET WITH BYCICLE SAFE GRATE &
TYPE 'N-ECO CURB PIECE'



1. VERTICAL OFFSET FITTINGS MAY BE USED IN PLACE OF BENDS ONLY WHERE "D" IS 18" OR LESS.
2. WATER MAIN CROSSING ABOVE STRUCTURE IS SIMILAR.

USING BENDS



6"-8" CURB PIECE TYPE 'N-ECO '

[Signature]
08/21/20

08/21/2025

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PROJECT LOCATION:

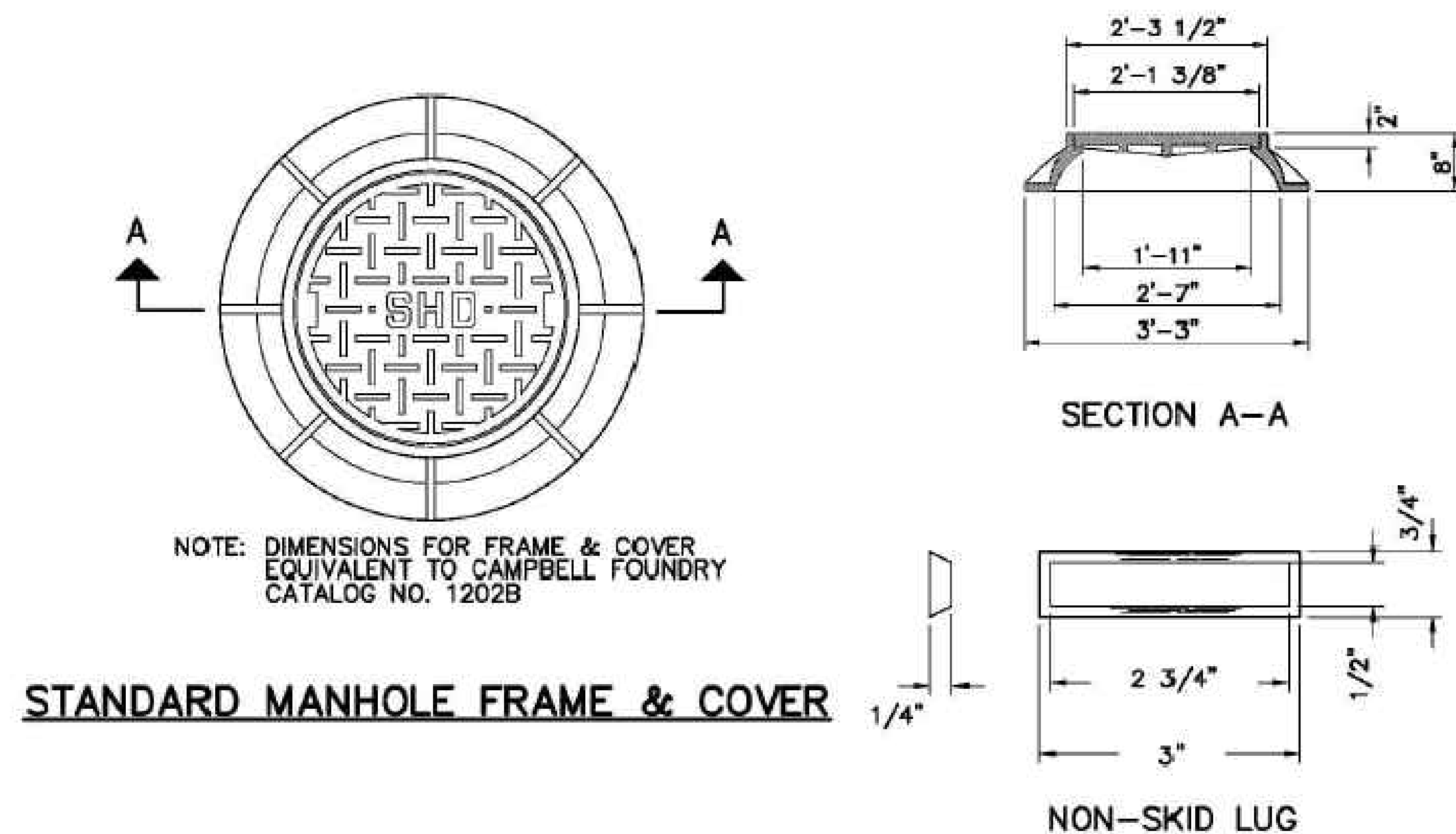
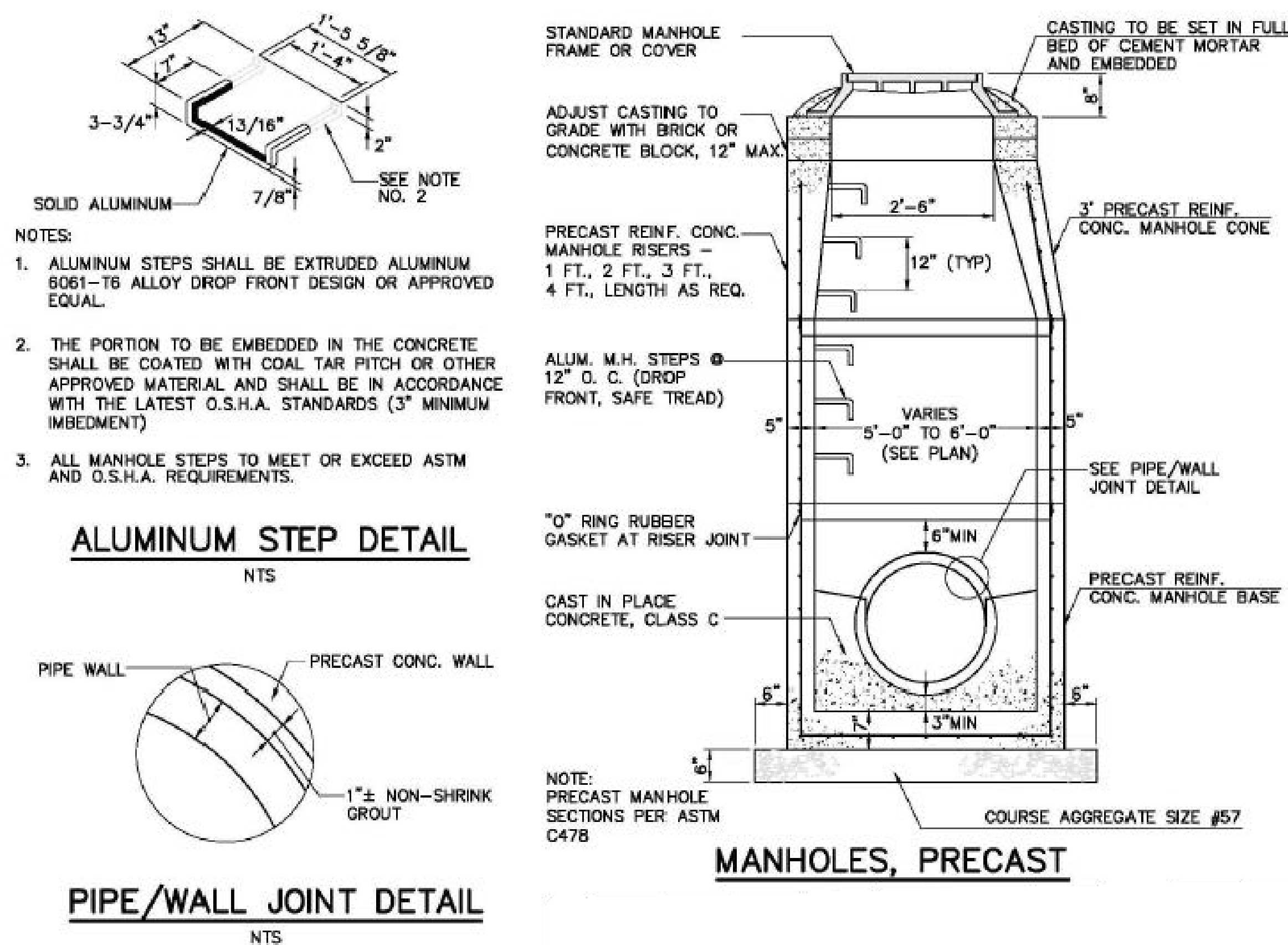
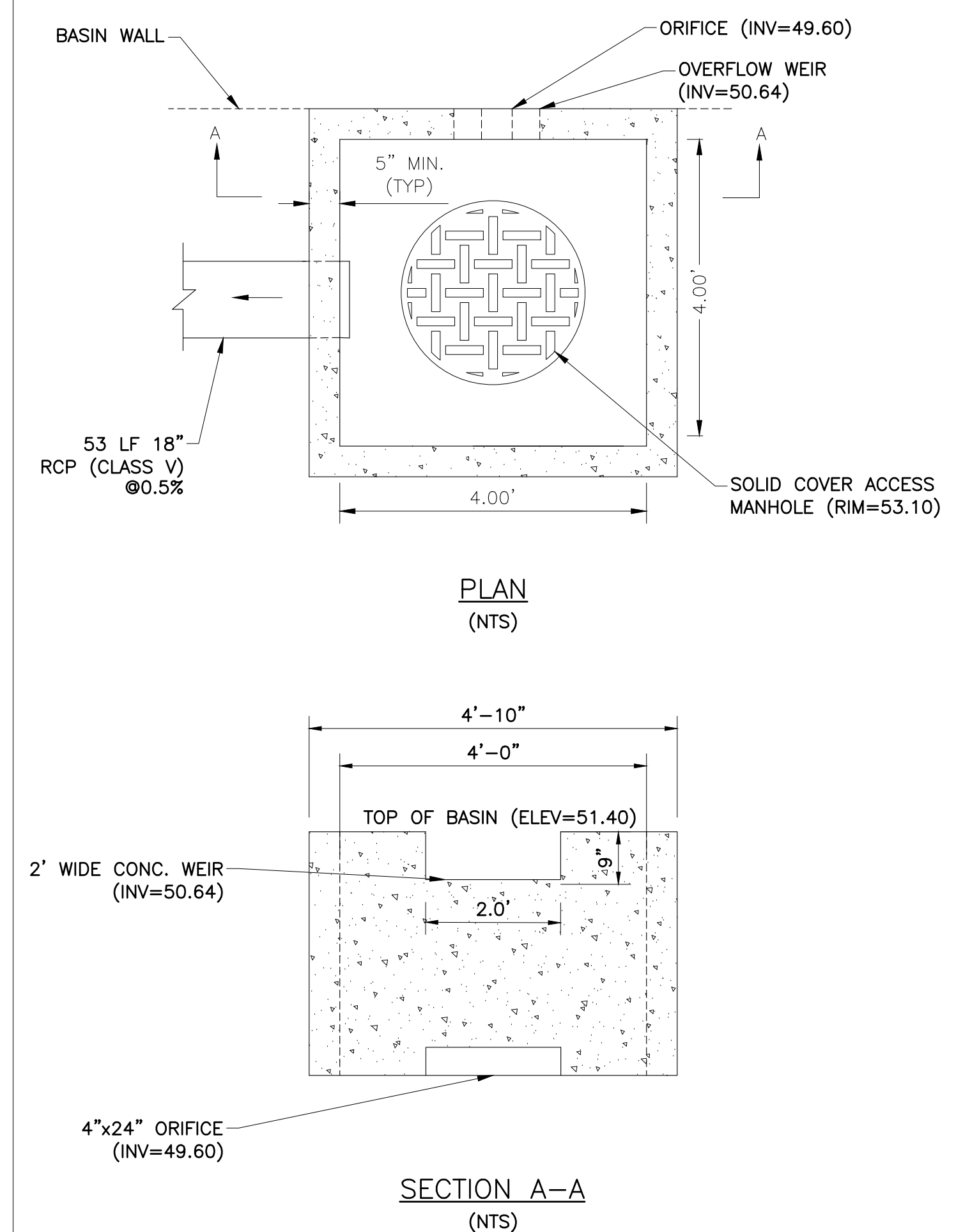
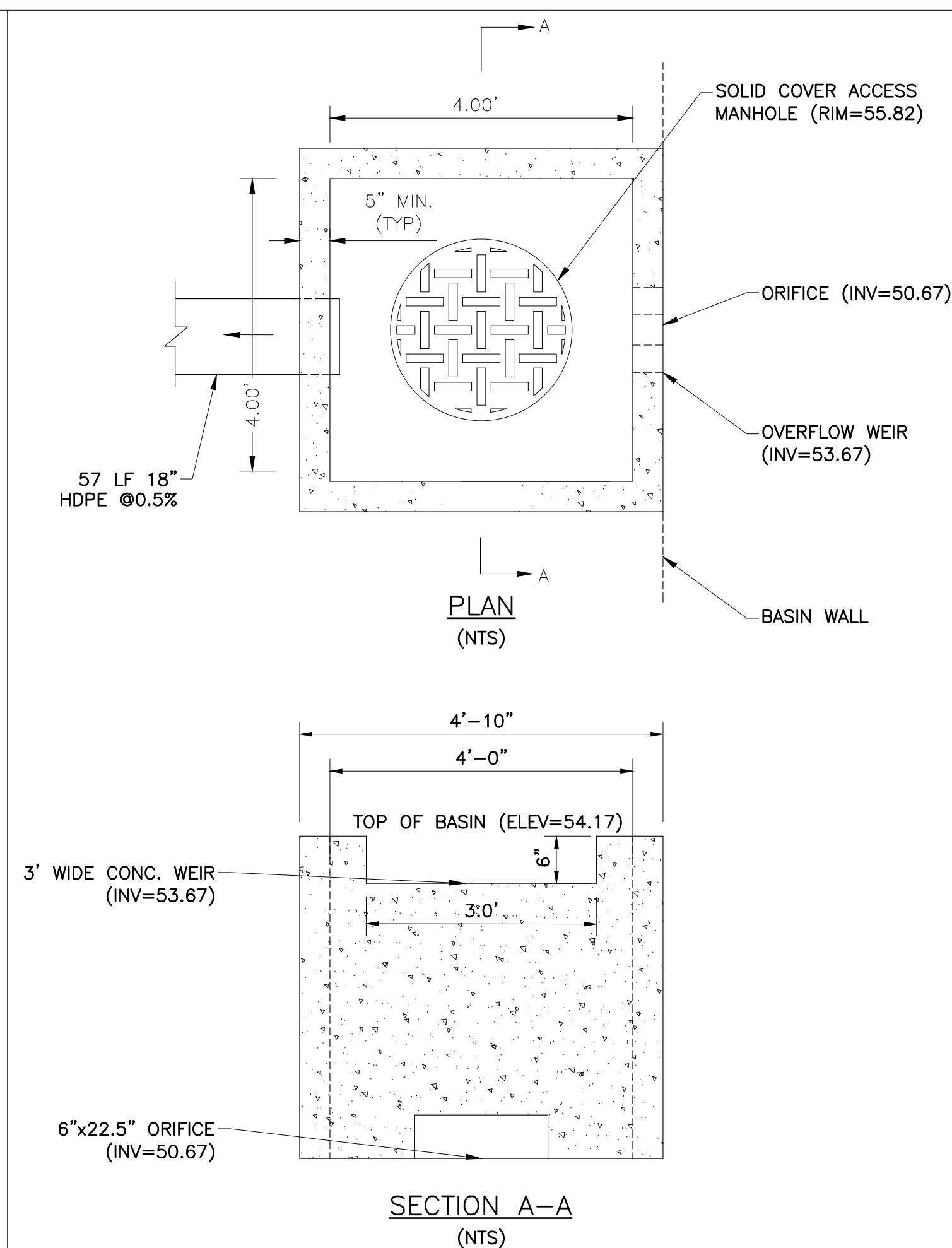
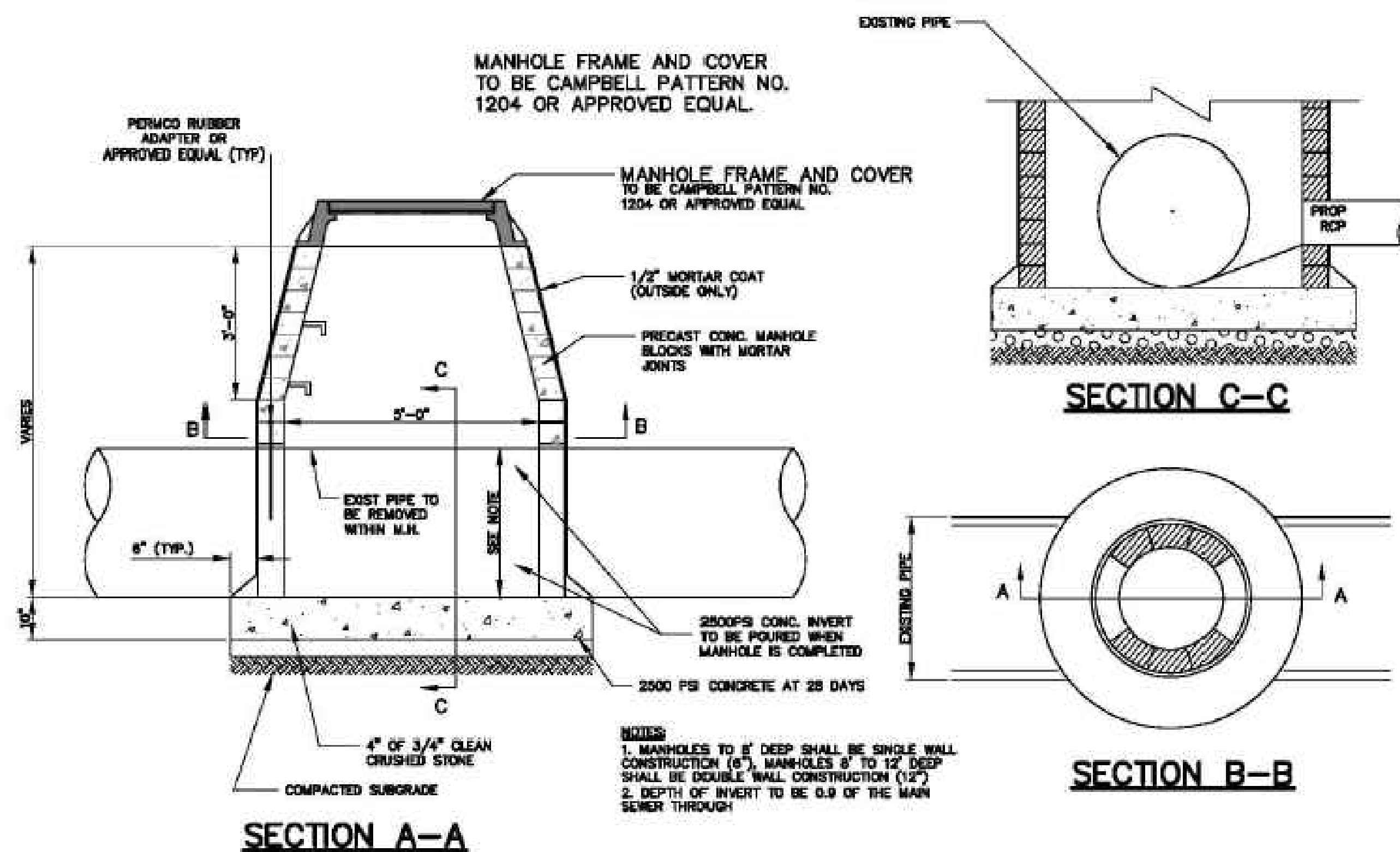
MIXED-USE BUILDING
52 WESTFIELD AVENUE
TOWNSHIP OF CLARK
UNION COUNTY, NJ
BLOCK: 105, LOTS: 1.01, 2, 21, 22 & 26.01
TAX MAP: 30

DRAWING TITLE:

DETAILS - 4

SCALE:	REFER TO DRAWING
DATE	08/21/2025
DESIGNED:	MED
APPROVED:	TEC
I.2A PROJ. No.:	2501.136
DRAWING No.:	

C-13



		08/21/2025
Michael E. Dipple, P.E.		Date
New Jersey Professional Engineer #24GE04081200		
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820 MORRIS TURNPIKE
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973.467.5000 (PHONE)

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[illegible]

PROJECT LOCATION:

MIXED-USE BUILDING

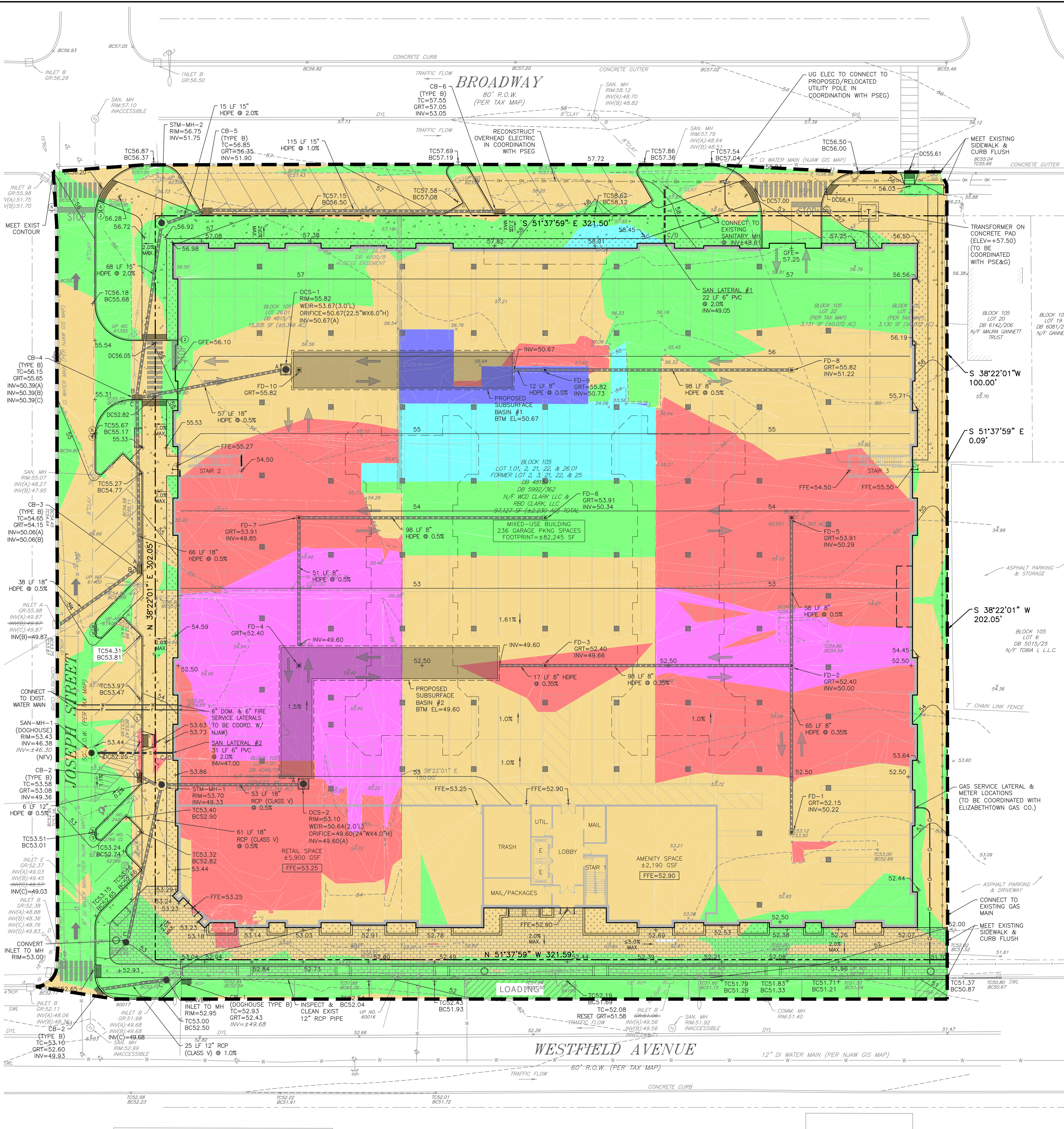
52 WESTFIELD AVENUE
TOWNSHIP OF CLARK
UNION COUNTY, NJ

BLOCK: 105, LOTS: 1.01, 2, 21, 22 & 26.01
TAX MAP: 30

DRAWING TITLE:

DETAILS - 5

SCALE:	REFER TO DRAWING
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LZA PROJ. No.:	2501.136
DRAWING No.:	

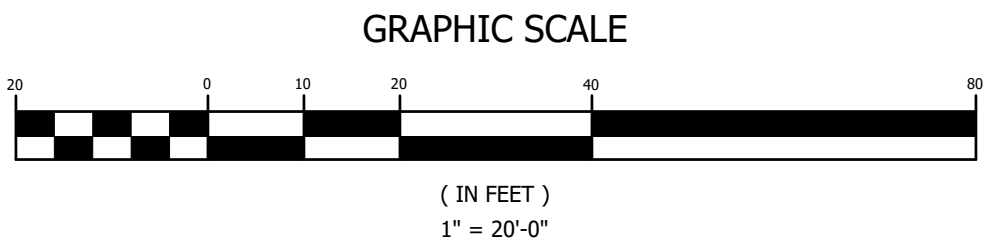


ELEVATIONS TABLE				
NUMBER	MIN. ELEVATION	MAX. ELEVATION	AREA (SF)	COLOR
1	-4.0	-2.0	10,233	
2	-2.0	-1.0	22,250	
3	-1.0	0.0	53,631	
4	0.0	1.0	30,793	
5	1.0	2.0	4,830	
6	2.0	3.0	1,416	

SOIL IMPORT/EXPORT CALCULATION

1. TOTAL ANTICIPATED SOIL MOVEMENT FROM CUT-FILL GRID ABOVE: ±2,363 (CUT)
2. ADDITIONAL CUT FOR:
ASPHALT DEPT
BRICK PAVERS
UTILITIES
BUILDING FOUNDATION
STORM DRAINAGE
3. TOTAL ANTICIPATED SOIL EXPORT:

±5,237 CY (CUT)
±7,600 CY (CUT)



L2A

LAND DESIGN / LLC

66 GRAND AVENUE • 2ND FLOOR

ENGLEWOOD • NJ • 07631

201.227.0300 • 201.227.0001 (Fax)

www.L2Alanddesign.com

New Jersey Certificate of Authorization No. 24GA28130900

North Arrow

08/21/2025

Date

Michael E. Dipple, P.E.

New Jersey Professional Engineer #24GE04081200

OWNER/APPLICANT:

CLARK BROADWAY ASSOCIATES, LLC

820 MORRIS TURNPIKE

SHORT HILLS, NJ 07078

973.467.5000 (PHONE)

ARCHITECT:

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PO BOX 5943

NEWARK, NEW JERSEY 07105

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SURVEYOR:

KENNON SURVEYING SERVICES, INC.

5 POWDER HORN DRIVE, SUITE 4

WARREN, NJ 07059

732.564.1818 (PHONE)

DATE

REVISION

NO.

PROJECT LOCATION:

MIXED-USE BUILDING

52 WESTFIELD AVENUE

TOWNSHIP OF CLARK

UNION COUNTY, NJ

BLOCK: 105, LOTS: 1.01, 2, 21, 22 & 26.01

TAX MAP: 30

DRAWING TITLE:

SOIL MOVEMENT PLAN

SCALE:

REFER TO DRAWING

DATE

08/21/2025

DESIGNED:

MED

APPROVED:

TEC

L2A PROJ. No.:

2501.136

DRAWING No.:

SM-01

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